

Design Rationale for 1975 Union Road

Project Overview

Currently the site at 1975 Union Road sits as a vacant lot at the intersection of Union Road and Glenmore Road. The site is located on the arterial Glenmore Road within the Glenmore Highlands neighborhood and currently zoned C5 Transition Commercial. The intent is to rezone to RM5 Medium Density Multiple Housing.

The intent of the project is to construct a four storey residential apartment building consisting of 29 residential units with a mix of unit sizes including, bachelor, one bedroom and two bedroom units.

Architecture + Design

The proposed building highlights a modern design aesthetic accented by high quality finishing materials and modern colour palette. The white and grey base colors allow the 'wood' veneer aluminum cladding to accent and highlight the clean lined design. The liner design scheme continues within the site with a feature concrete wall in an outdoor amenity space. Secondary outdoor amenity space is provided on the second level to soften the transition from the site to the south and provide a secondary space for residents away from ground level activity.

Siting + Setbacks

We propose to site the building along Glenmore Road to establish a street front presence along the arterial Glenmore corridor. Given our proposal to rezone to RM5 we propose ground orientated housing on main floor units to achieve the 1.5m building setback for the first 2.5 stories, after which we shift to the 3.0m setback.

Building height:

Permitted building height under the RM5 zone is a maximum of 18.0m. We are proposing a height of 16.15m to allow for four storey of residential apartment housing.

Off-street Parking + Bicycle Parking

Per bylaw we require 41 [41.06] parking stalls which includes 4 visitor stalls, and we are providing 41 parking stalls.

Bicycle parking within the bylaw requires both long term and short bicycle stalls. Long term storage for 29 units at 0.75 spaces per 2 bedroom or less equates to 21.75 stalls we propose to provide 14 stalls in a long term bike storage room on the main floor.

Yours truly,

A red circular professional seal for Larry Podhora, Registered Architect, British Columbia. The seal contains the text "REGISTERED ARCHITECT", "LARRY PODHORA", and "BRITISH COLUMBIA". A handwritten signature in black ink is written over the seal.

Larry Podhora, Architect AIBC, MRAIC
Principal



UNION ROAD MIXED USE | KELOWNA

1975 UNION ROAD | KELOWNA | BRITISH COLUMBIA

ISSUED FOR DEVELOPMENT PERMIT

SUBMISSION : 2021-04-16

PROJECT TEAM

ARCHITECT OF RECORD

LARRY PODHORA ARCHITECTURE INC
1952 BRACKMAN WAY
SAANICH B.C. V8L 0C2

CONTACT: LARRY PODHORA, ARCHITECT AIBC

CIVIL

KM CIVIL CONSULTANTS LTD.
400 - 34077 GLADYS AVENUE
ABBOTSFORD B.C. V2S 2E8
P. 604.853.8831

CONTACT: STUART MCGREGOR

BUILDING DESIGN

KRAHN ENGINEERING LTD.
400 - 34077 GLADYS AVENUE
ABBOTSFORD B.C. V2S 2E8
P. 604.853.8831

CONTACT: MARK BRONSEMA

LANDSCAPE

KD PLANNING & DESIGN LTD.
400 - 34077 GLADYS AVENUE
ABBOTSFORD B.C. V2S 2E8
P. 604.853.8831

CONTACT: JESSICA THIESSEN

CONTEXT PLANS



KELOWNA + AREA CONTEXT PLAN

NEIGHBOURHOODS:

- | | |
|---|--------------------|
| 1 | DOWNTOWN KELOWNA |
| 2 | GLENMORE |
| 3 | DILWORTH |
| 4 | MAGIC ESTATES |
| 5 | GLENMORE HIGHLANDS |
| 6 | ELLISON |
| 7 | CHICHESTER |
| 8 | RUTLAND |
| 9 | WEST KELOWNA |

PARKS + RECREATION

- | | |
|----|-------------------------------------|
| 10 | OKANAGAN LAKE |
| 11 | KNOX MOUNTAIN PARK |
| 12 | MISSION CREEK REGIONAL PARK |
| 13 | STEPHENS COYOTE RIDGE REGIONAL PARK |

DRAWING LIST

ARCHITECTURAL

- A1 COVER PAGE
- A2 PROJECT INFORMATION
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- A6 SITE PLAN
- A7 SITE DETAILS
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- A15 MATERIAL SAMPLE BOARD
- A16 BUILDING SECTIONS

LANDSCAPE

- L1 LANDSCAPE PLAN, DETAILS AND NOTES



GLENMORE HIGHLANDS AREA CONTEXT PLAN

NEIGHBOURHOOD SCHOOLS:

- | | |
|---|----------------------------------|
| 1 | NORTH GLENMORE ELEMENTARY SCHOOL |
| 2 | ECOLE DR. KNOX MIDDLE SCHOOL |



NORTHWEST PERSPECTIVE



NORTH PERSPECTIVE



EAST PERSPECTIVE



ARIAL PERSPECTIVE

SITE PHOTOS



SITE GOOGLE EARTH AERIAL PHOTO



SITE FROM UNION ROAD - GOOGLE EARTH PHOTO



SITE FROM GLENMORE ROAD + UNION ROAD INTERSECTION- GOOGLE EARTH PHOTO



SITE FROM GLENMORE ROAD - GOOGLE EARTH PHOTO

UNION ROAD



SITE GRADING + LANDSCAPING AS PER CIVIL + LANDSCAPE DWGS.

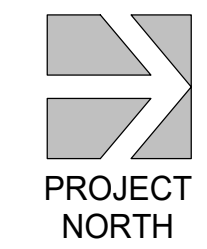
1 GLENMORE STREETScape
SCALE: 1" = 10'-0"



GLENMORE ROAD

2 UNION STREETScape
SCALE: 1" = 10'-0"

GLENMORE ROAD



PROJECT DATA INFORMATION

PROPERTY INFORMATION:

CIVIC ADDRESS: 1975 UNION ROAD, KELOWNA, BC
 LEGAL ADDRESS: PLAN KAP51847, LOT 27, SECTION 4, TOWNSHIP 23
 P.I.D.: 018-677-878
 ZONING: CURRENT: C5 - TRANSITION COMMERCIAL
 PROPOSED: RM5 - MEDIUM DENSITY MULTIPLE HOUSING
 SITE AREA: 0.23 hectares (2,339.88 sq. m.) / 0.578 acres (25,186.27 sq. ft.)
 BUILDING USE: PROPOSED APARTMENT HOUSING
 BLDG FOOTPRINT AREA: 465.82 sq. m. (5,014.11 sq. ft.)
 GROSS BLDG AREA: 2,462.81 sq. m. (26,509.50 sq. ft.)

RM5 - MEDIUM DENSITY MULTIPLE HOUSING REVIEW (PROPOSED):

BUILDING HEIGHT: MAXIMUM: 18.0m OR 4 1/2 STOREYS
 PROPOSED: 16.15m OR 4 STOREYS
 MAX. LOT COVERAGE: 40%
 PROPOSED LOT COVERAGE: 927.93 sq. m. (9,988.19 sq. ft.) / 39.7%
 MAX. LOT COVERAGE OF BUILDINGS, DRIVEWAYS, AND PARKING AREAS: 65%
 PROPOSED LOT COVERAGE: 1,432.76 sq. m. (15,422.10 sq. ft.) / 61.23%
 SETBACKS: FRONT YARD - 1.5m [4.92'] GROUND ORIENTATED HOUSING
 6.0m [19.68'] ANY PORTION OF A BUILDING IN EXCESS OF 2 1/2 STOREYS
 REAR YARD - 9.0m [29.52']
 SIDE YARD FLANKING STREET - 1.5m [4.92'] GROUND ORIENTATED HOUSING
 6.0m [19.68'] ANY PORTION OF A BUILDING IN EXCESS OF 2 1/2 STOREYS
 SIDE YARD - 4.5m [14.76'] FOR A PORTION OF A BUILDING NOT OVER 2 1/2 STOREYS
 7.0m [22.96'] FOR PORTIONS OF A BUILDING IN EXCESS OF 2 1/2 STOREYS
 PRINCIPAL USES: PROPOSED: PRINCIPAL USE OF APARTMENT HOUSING
 FLOOR AREA RATIO: MAXIMUM TOTAL FLOOR AREA RATIO IS 1.10
 PROPOSED FAR = 1.05 (2,462.81 sq. m. TOTAL GFA)
 PRIVATE OPEN SPACES: PER BACHELOR DWELLING MINIMUM: 7.5 sq. m. REQ: 30 sq. m.
 PER 1 BEDROOM DWELLING MINIMUM: 15 sq. m. REQ: 270 sq. m.
 PER 2 BEDROOM DWELLING MINIMUM: 25 sq. m. REQ: 175 sq. m.
 TOTAL REQUIRED PRIVATE OPEN SPACES: 470.00 sq. m. (5,112.85 sq. ft.)
 TOTAL PROVIDED PRIVATE OPEN SPACES: 686.51 sq. m. (7,389.58 sq. ft.)

OFF-STREET PARKING REVIEW:

PARKING DESIGN REQUIREMENTS:

STANDARD STALL	6.0m [19.68'] x 2.5m [8.20']
SMALL CAR STALL	4.8m [15.75'] x 2.3m [7.54']
ACCESSIBLE STALL	6.0m [19.68'] x 3.9m [12.79']
TWO WAY DRIVE AISLE	7.0m [22.96']

PARKING PROVISION CALCULATIONS:

1 BEDROOM UNIT	1.25 MIN. / 1.6 MAX. STALLS PER DWELLING UNIT
2 BEDROOM UNIT	1.5 MIN. / 2.0 MAX. STALLS PER DWELLING UNIT
VISITOR	0.14 MIN. TO 0.20 MAX. STALLS PER UNIT

PARKING CALCULATIONS:

BACHELOR UNITS (4)	4 x 1.0 = 4.0 STALLS = 4.0 STALLS REQUIRED
1 BEDROOM UNITS (18)	18 x 1.25 = 22.5 STALLS / 18 x 1.6 = 28.8 STALLS = 22.5 STALLS REQUIRED
2 BEDROOM UNITS (7)	7 x 1.5 = 10.5 STALLS / 7 x 2 = 14 STALLS = 10.5 STALLS REQUIRED
VISITOR	29 x 0.14 = 4.06 / 29 x 0.20 = 5.8 STALLS = 4.06 VISITOR STALLS REQUIRED

TOTAL STALLS REQUIRED: 41 (41.06) STALLS REQUIRED FOR RESIDENTIAL
 TOTAL STALLS PROVIDED: 41 STALLS PROPOSED

BICYCLE PARKING REQUIREMENTS (*VARIANCE REQUIRED*):

REQ. LONG TERM:	0.75 PER 2 BEDROOM OR LESS
REQ. BONUS LONG TERM:	1.0 PER BACHELOR OR 1 BED, 1.50 PER 2 BEDROOM
REQ. SHORT TERM:	6 PER BUILDING ENTRANCE

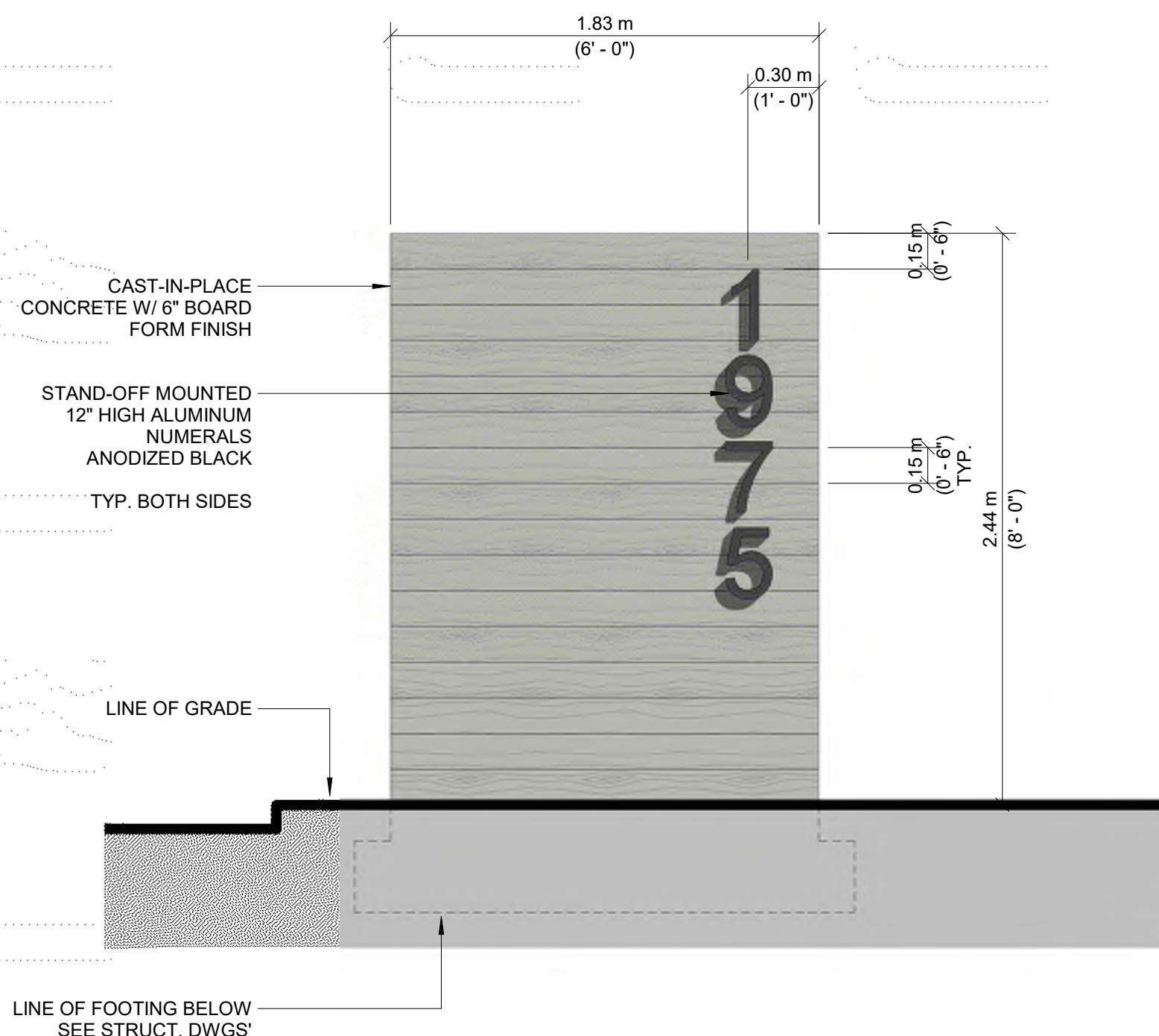
TOTAL STALLS REQUIRED: 21.75 + 22 + 10.50 + 12 = 66 (66.25)
 TOTAL STALLS PROVIDED: 14

1 SITE PLAN
 SCALE: 3/32" = 1'-0"

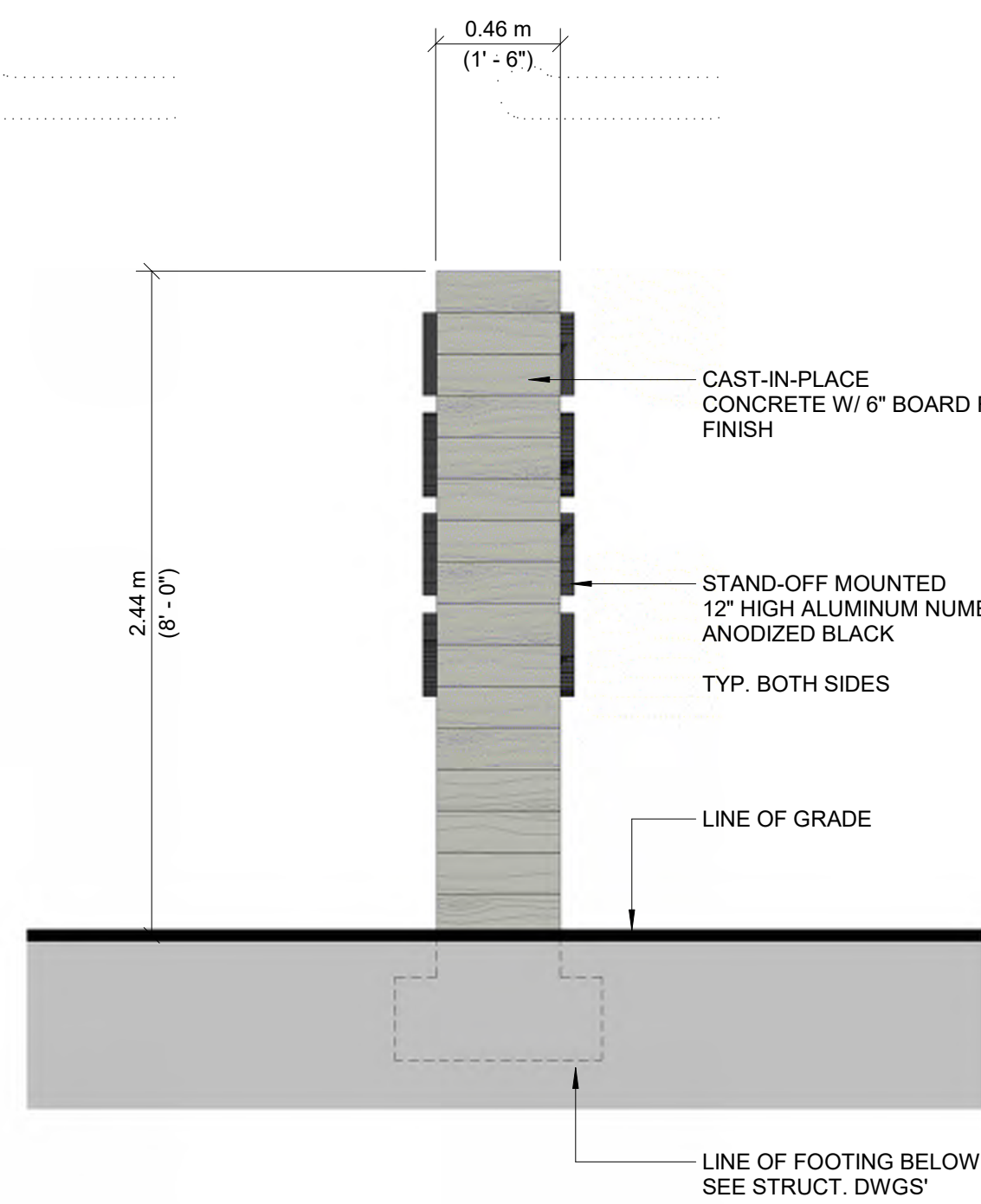


April 28 2021

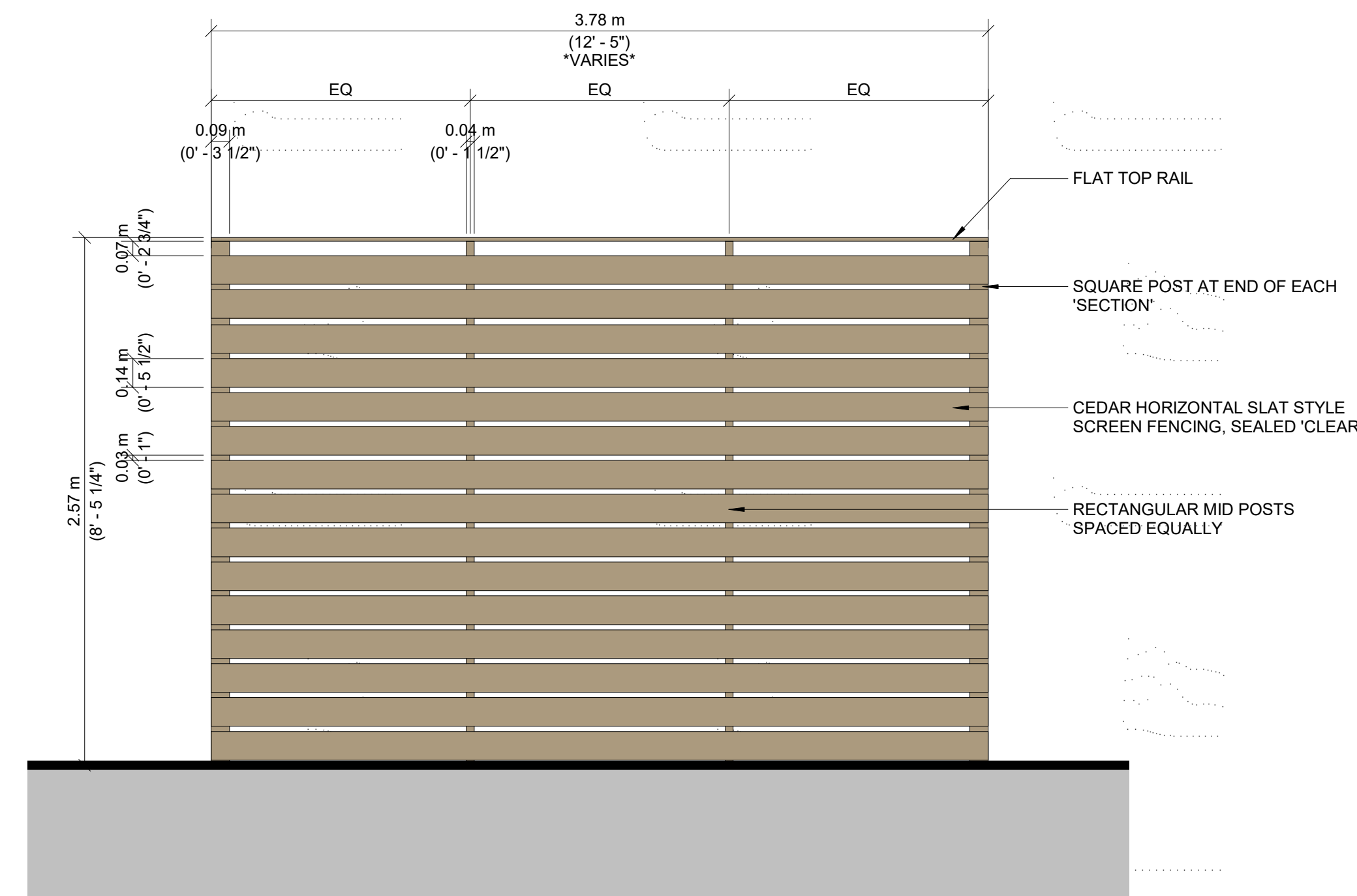
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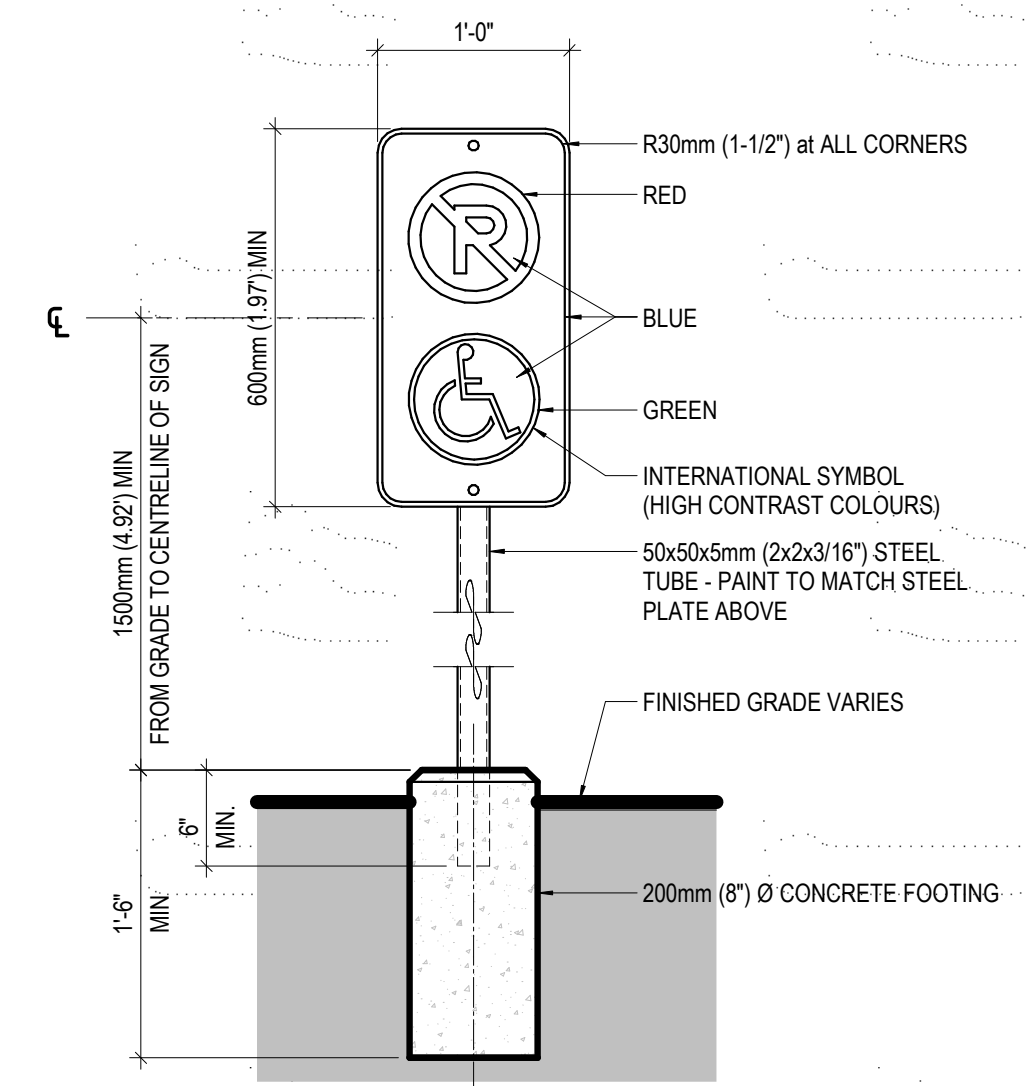
1 PYLON SIGNAGE - EAST ELEVATION
SCALE: 1/2" = 1'-0"



2 PLYON SIGNAGE - NORTH ELEVATION
SCALE: 1/2" = 1'-0"

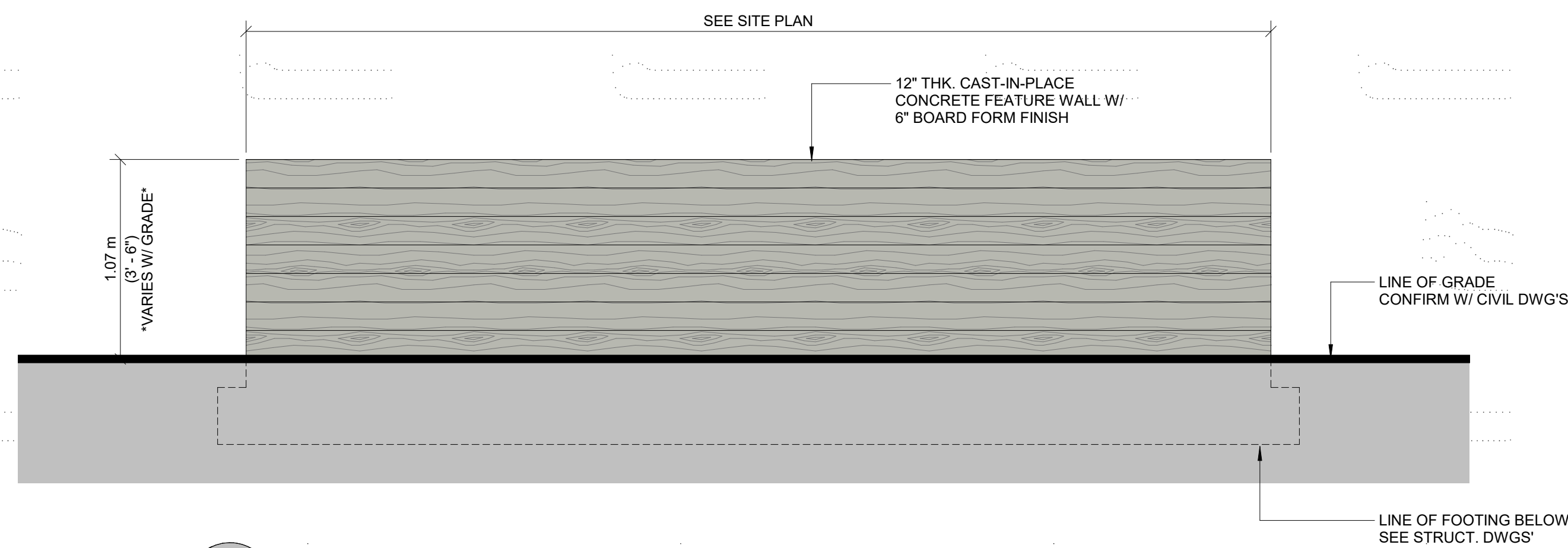


3 SCREEN FENCING - TYP. ELEVATION
SCALE: 1/2" = 1'-0"

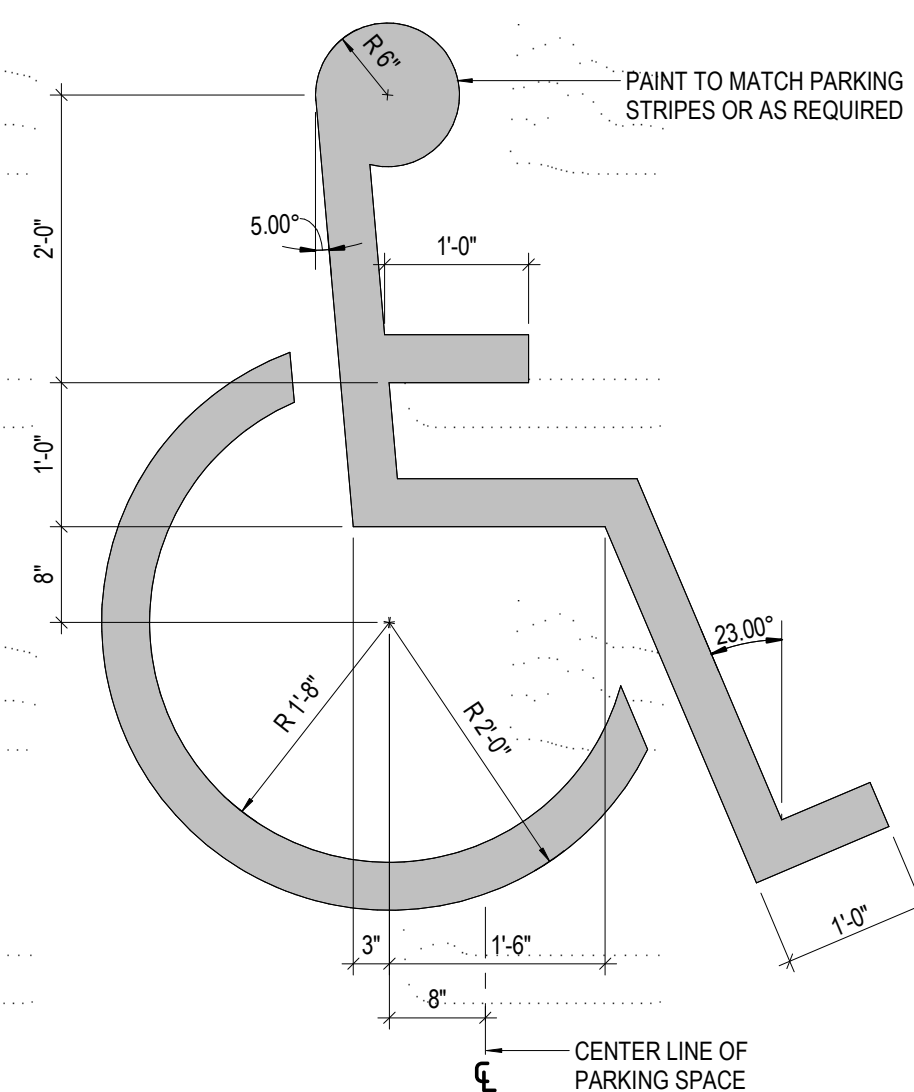


- NOTE:
- SIGN SHOULD BE PROPERLY CENTERED AT FRONT OF PARKING SPACE.
 - SIGN FACE SHOULD BE LOCATED NO FURTHER THAN 150mm (6") FROM THE FRONT OF EACH PARKING SPACE w/ A MINIMUM 915mm (3'-0") CLEAR.
 - MOUNT SIGN ON COLUMN OR WALL AT SIM. CONDITION
 - WHERE SIGN IS PLACED IN PAVED AREA AT PARKING STALLS, PROVIDE PRE-CAST BUMPERS

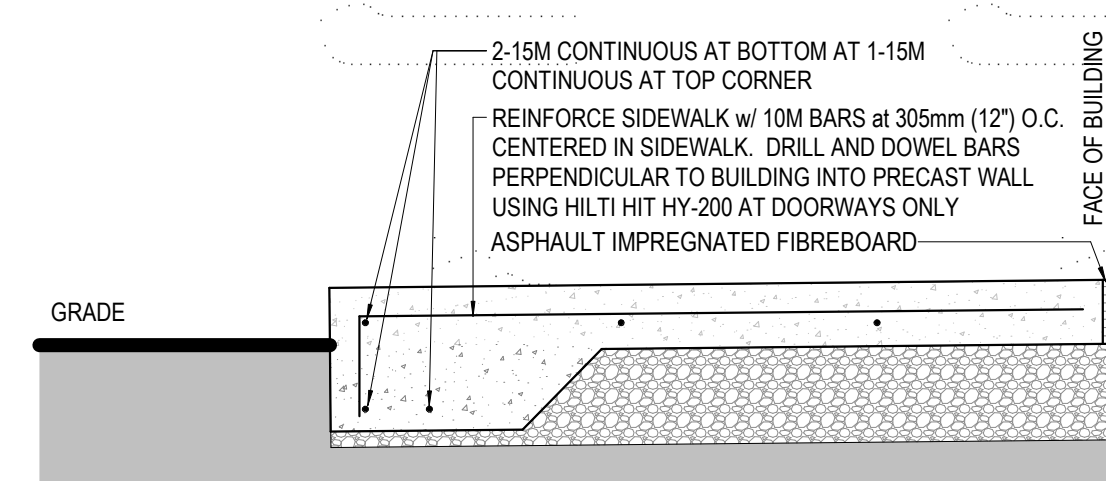
4 ACCESSIBLE POST MOUNTED SIGN
SCALE: 1" = 1'-0"



5 TYP. FEATURE WALL ELEVATION
SCALE: 1/2" = 1'-0"

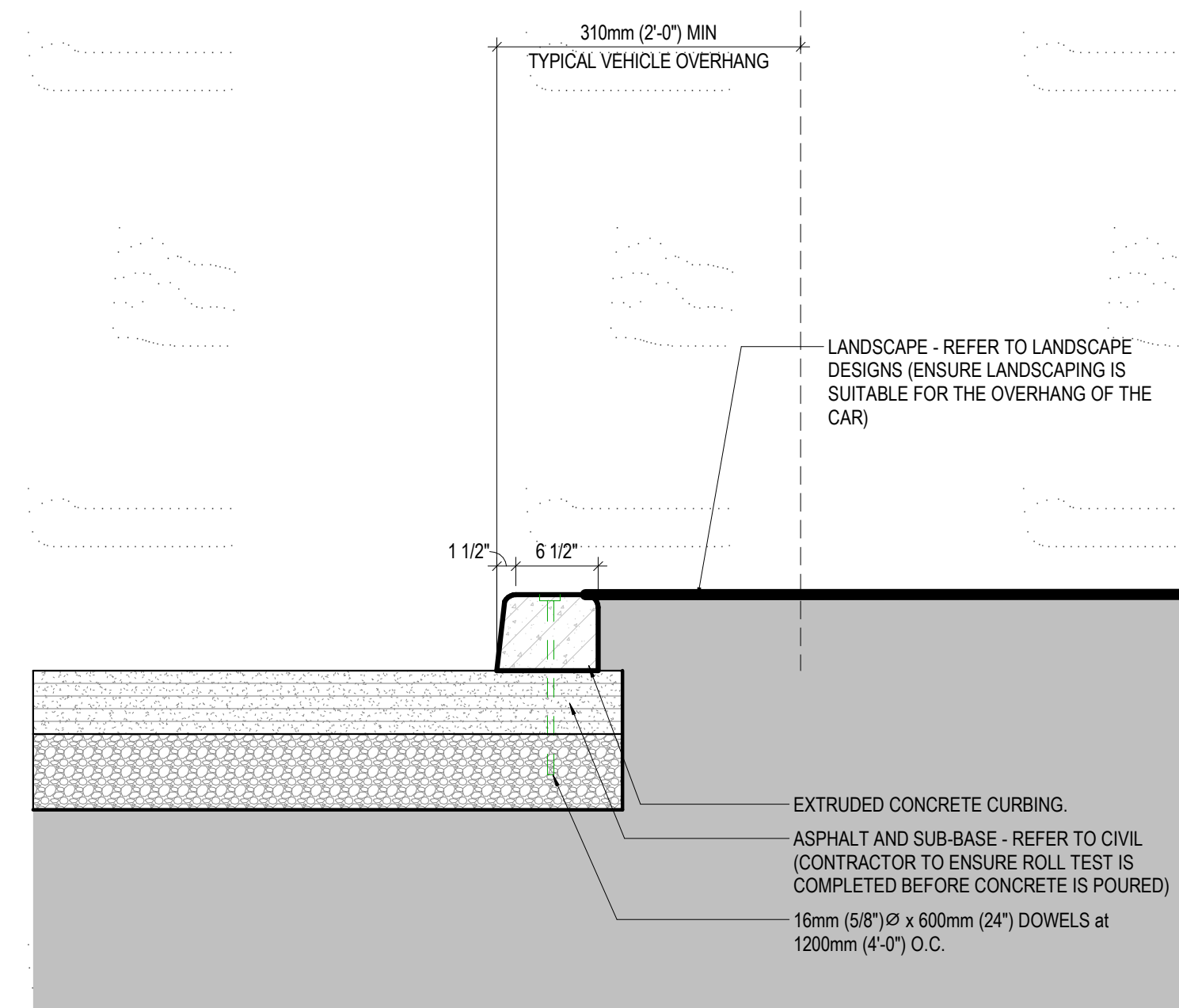


7 ACCESSIBLE PAINTED SYMBOL
SCALE: 3/4" = 1'-0"

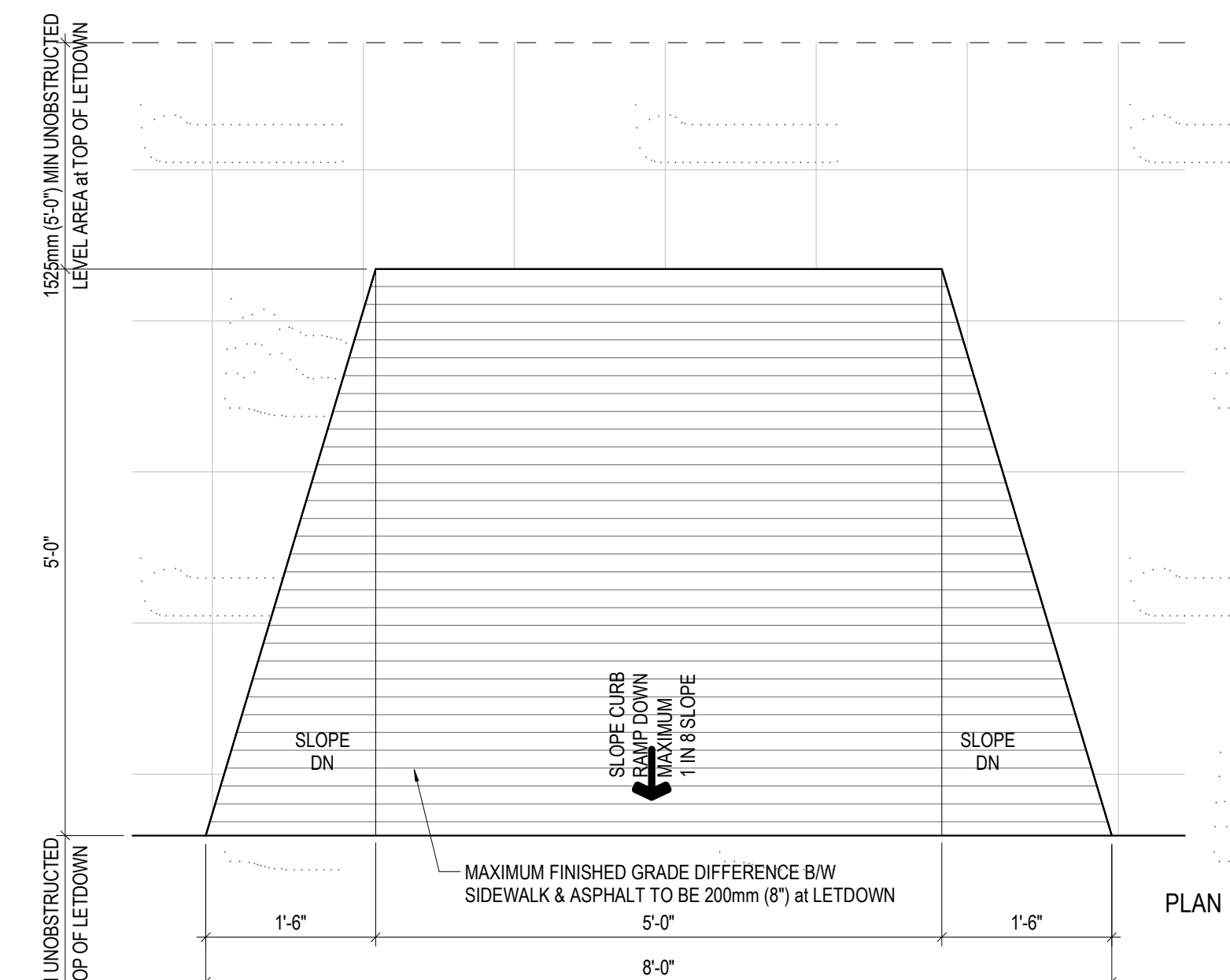


- NOTE
- 125mm (5") THICK SIDEWALK ON 6" COMPACTED CLEAN GRANULAR FILL. PROVIDE CONTROL JOINTS EVERY 1220mm (5'-0") - REFER TO SITE PLAN.
 - PROVIDE 50mm (2") RIGID INSULATION BENEATH SIDEWALK AT ALL DOORS, EXTENDING 1220mm (5'-0") BEYOND DOOR at EITHER SIDE

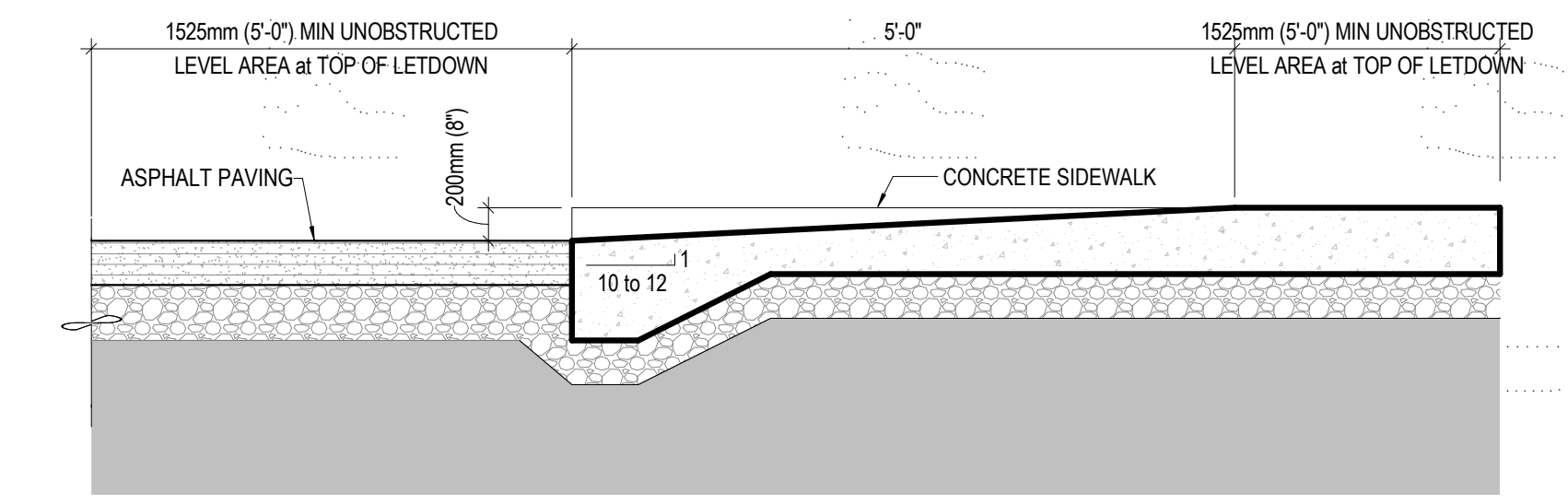
8 SIDEWALK
SCALE: 1" = 1'-0"



6 CONCRETE CURB
SCALE: 1" = 1'-0"

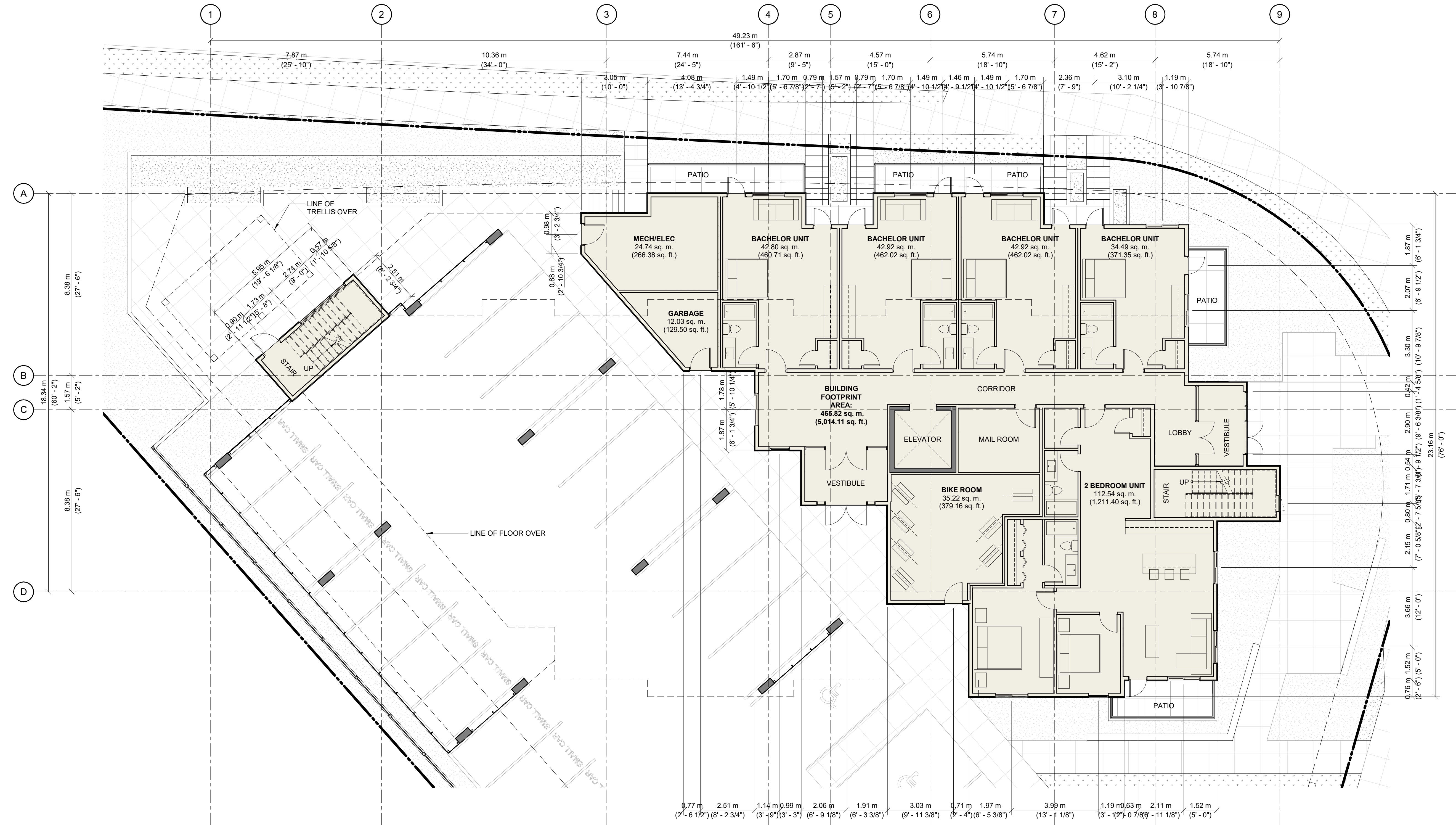


PLAN

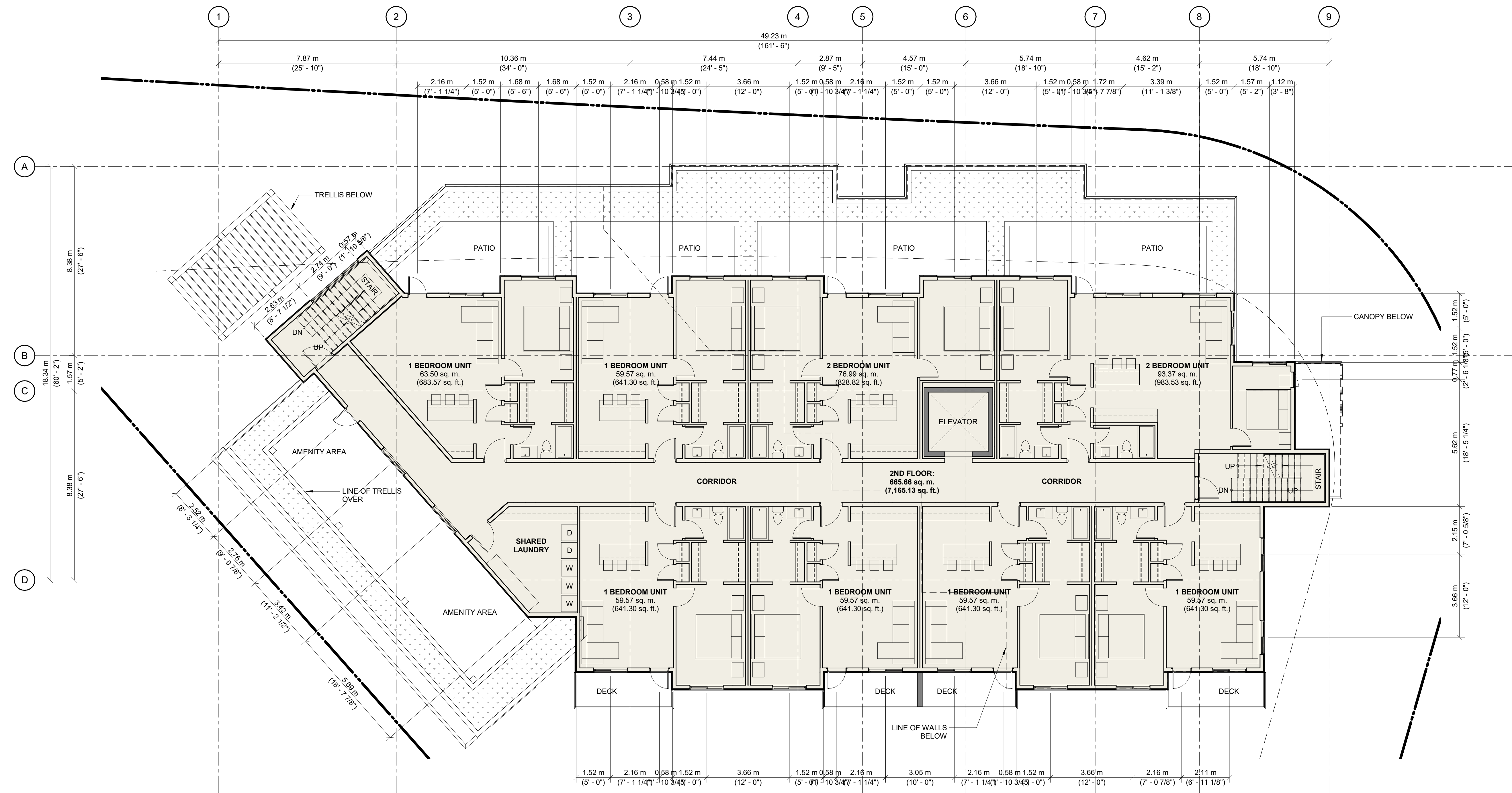


SECTION

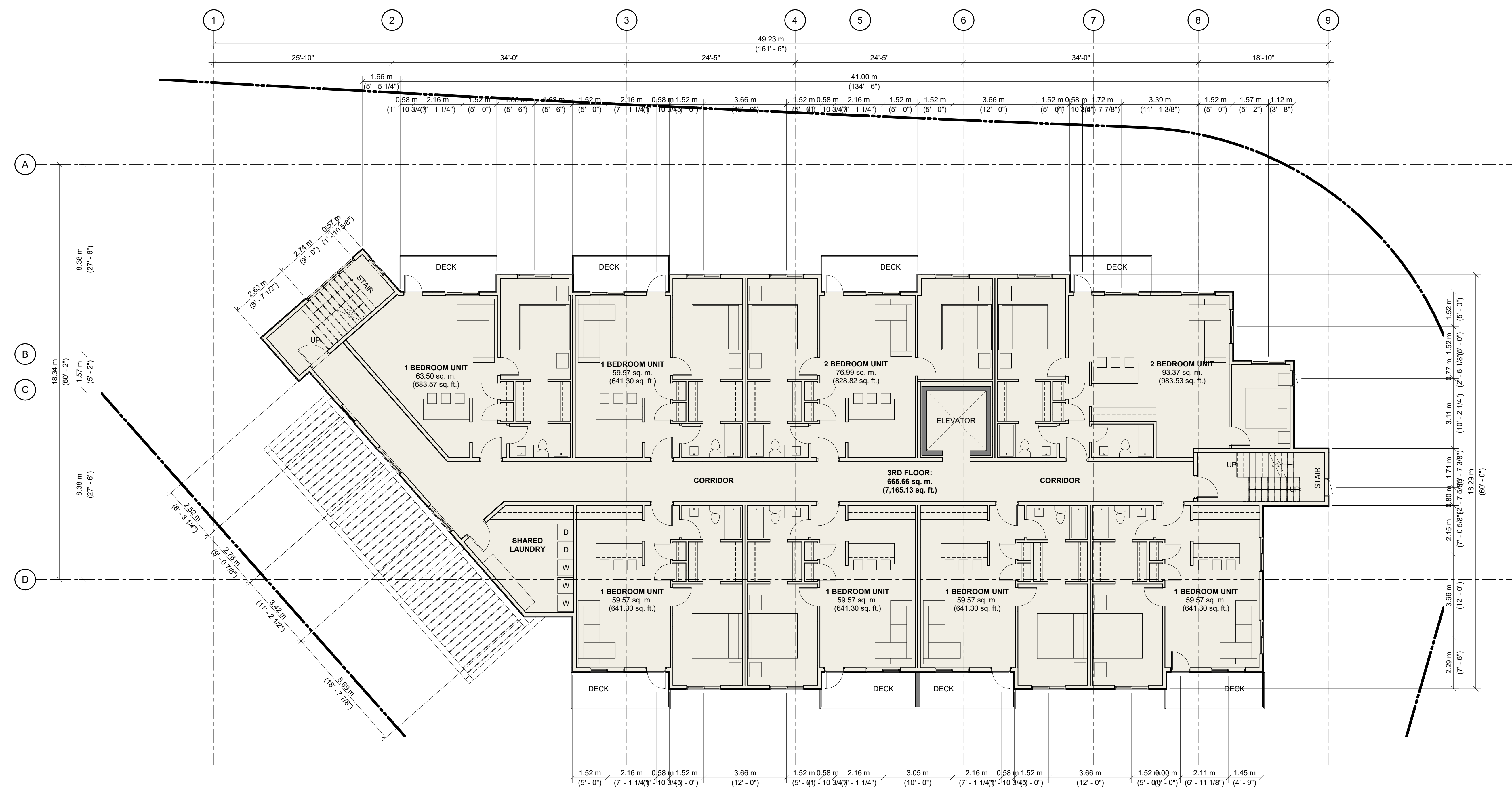
9 ACCESSIBLE LETDOWN / CURB / RAMP
SCALE: 3/4" = 1'-0"



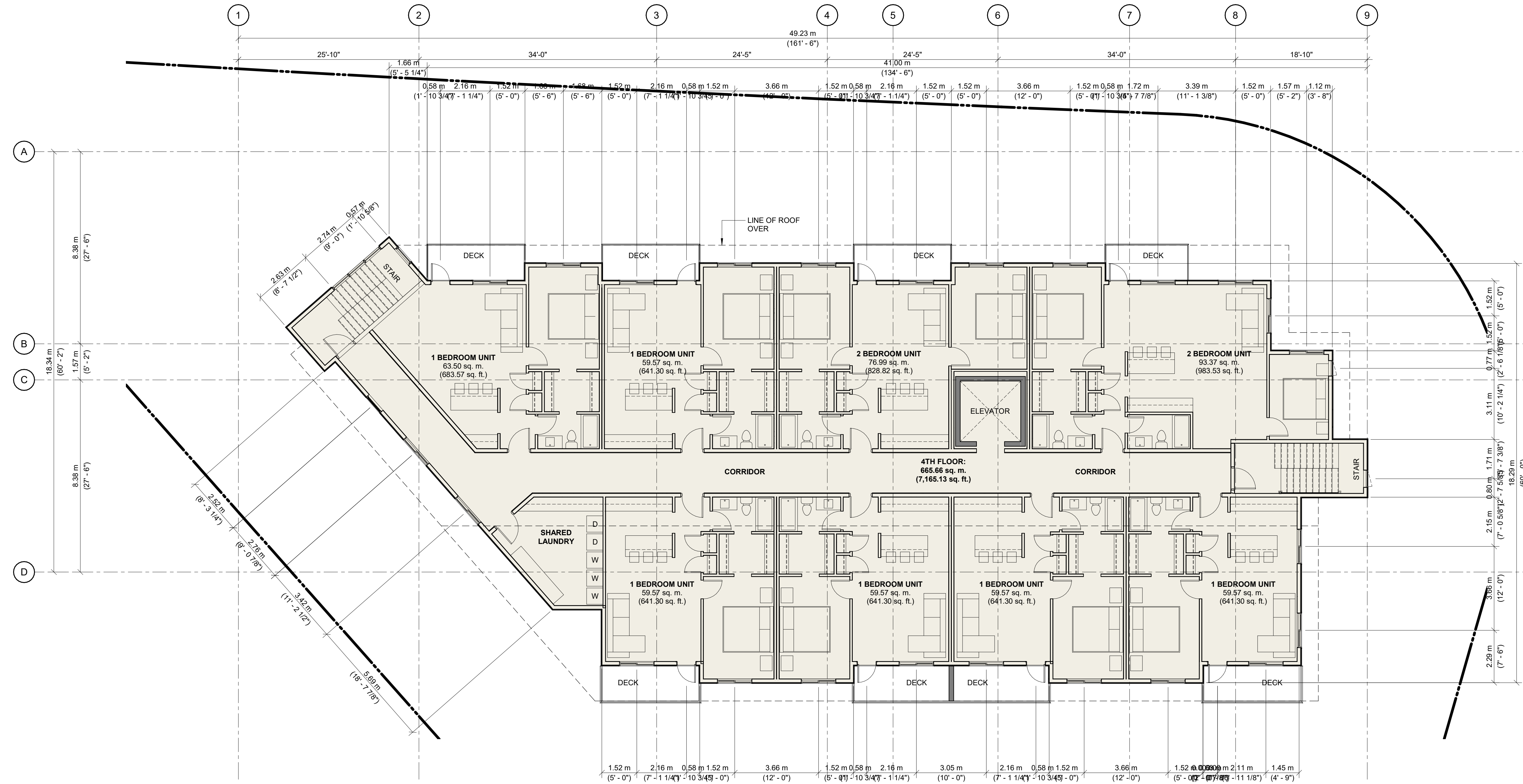
1 MAIN FLOOR
SCALE: 1/8" = 1'-0"



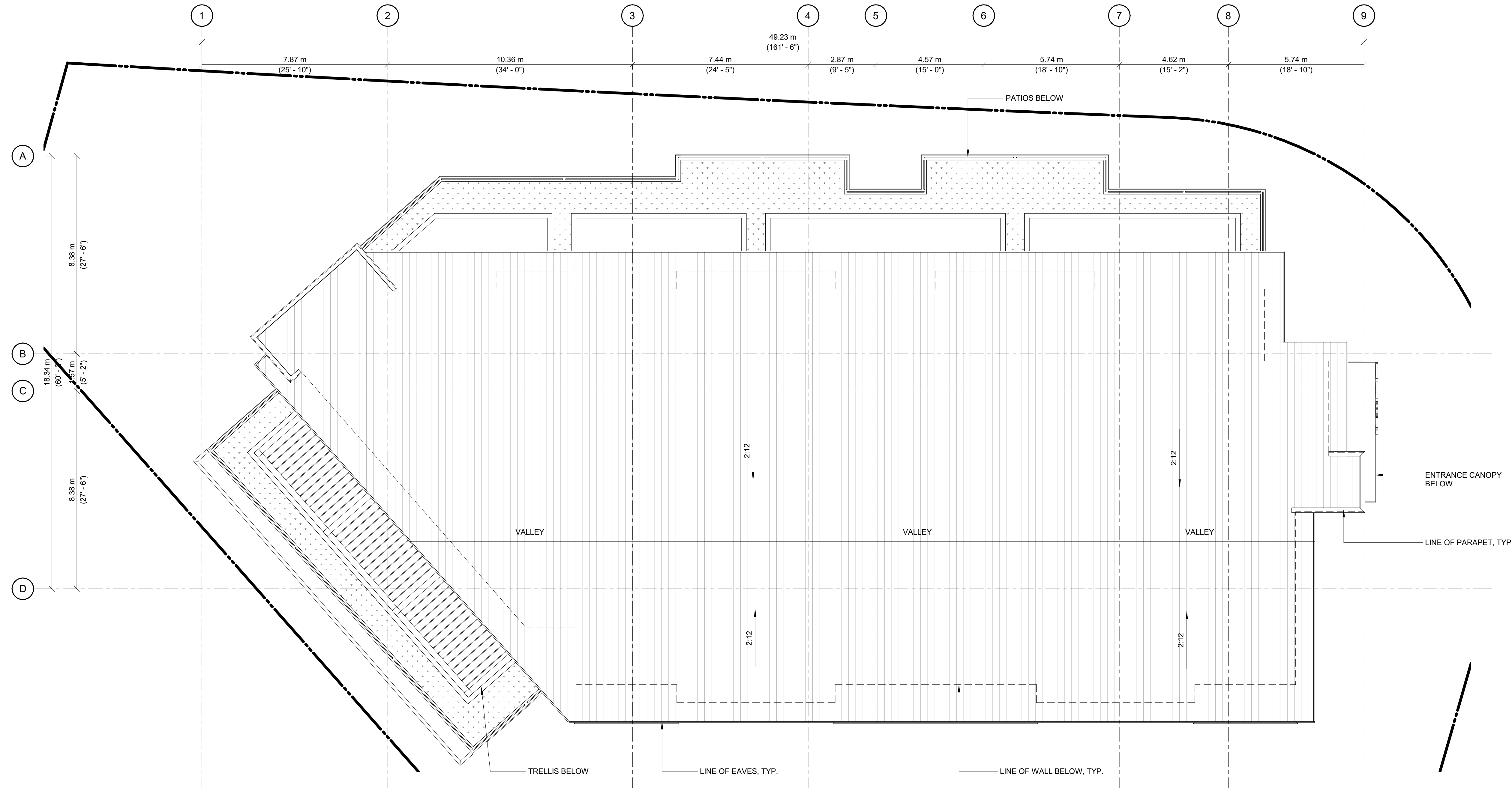
1 SECOND FLOOR
SCALE: 1/8" = 1'-0"



1 | THIRD FLOOR
SCALE: 1/8" = 1'-0"



1 FOURTH FLOOR
SCALE: 1/8" = 1'-0"



1 ROOF PLAN
 SCALE: 1/8" = 1'-0"



1 : WEST ELEVATION : 1/8" = 1'-0"

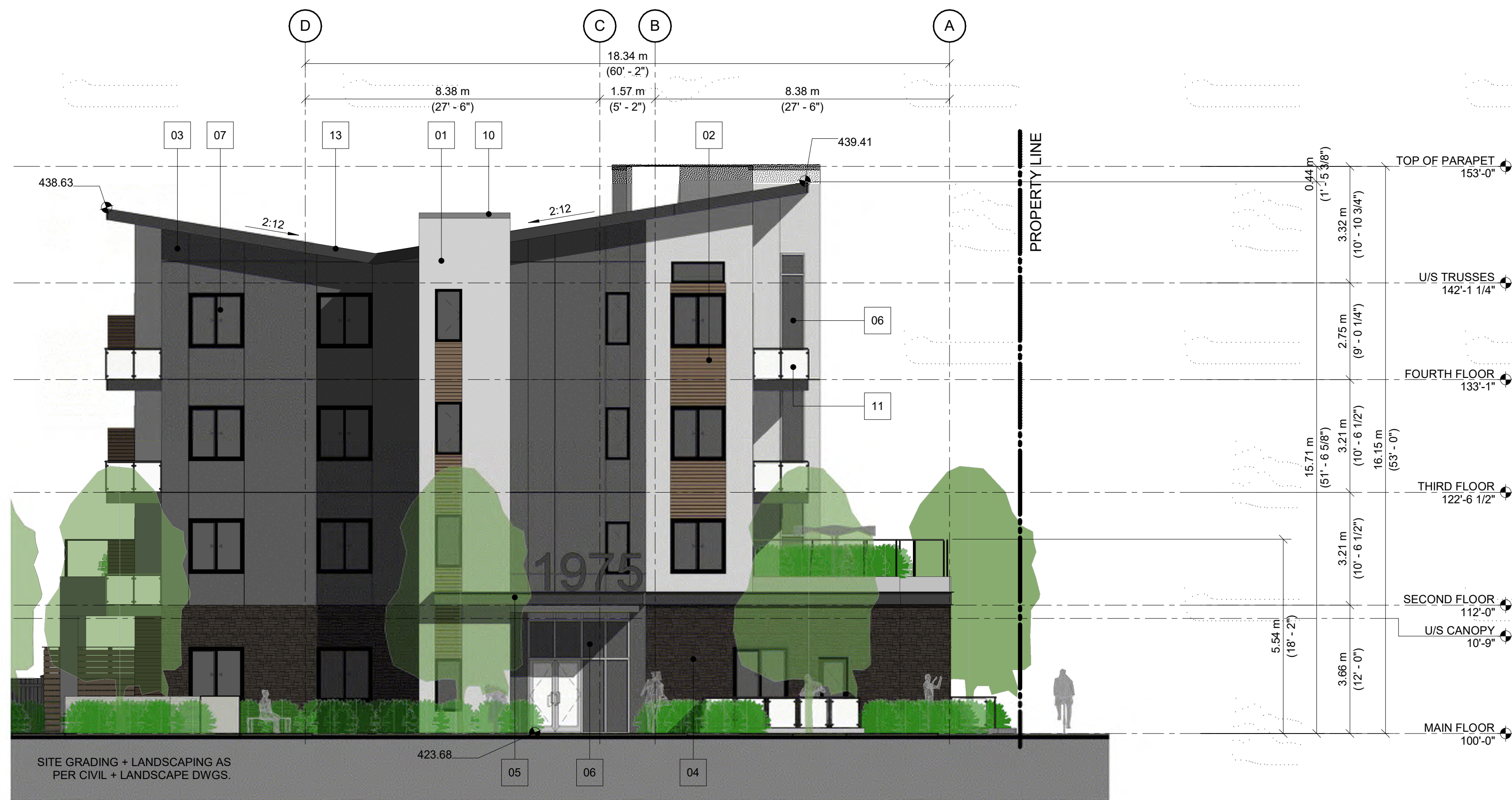


2 : EAST ELEVATION : 1/8" = 1'-0"

ELEVATION FINISH LEGEND

- 1 STUCCO, FINE FINISH, PAINTED BENJAMIN MOORE - 'OC-19 SEA PEARL'
- 2 ALUMINUM HORIZONTAL 6" SIDING, 'LIGHT CHERRY'
- 3 STUCCO, FINE FINISH, PAINTED BENJAMIN MOORE - 'AF-560 FLINT'
- 4 STONE VENEER, ELDORADO STONE, STACKED STONE, 'DARK RUNDLE'
- 5 ARCHITECTURAL STEEL - BLACK
- 6 CURTAIN WALL, ANODIZED ALUMINUM
- 7 VINYL WINDOW / PATIO DOOR, BLACK
- 8 SPANDREL PANEL
- 9 ALUMINUM SOFFT, LONGBOARD, 'LIGHT CHERRY'
- 10 METAL FLASHING, PAINTED TO MATCH WALL COLOUR BELOW
- 11 ALUMINUM / GLASS RAILING
- 12 CEDAR FENCE STAINED CLEAR
- 13 HARDIE TRIM BOARD, BLACK

PRELIMINARY - NOT FOR CONSTRUCTION



ELEVATION FINISH LEGEND

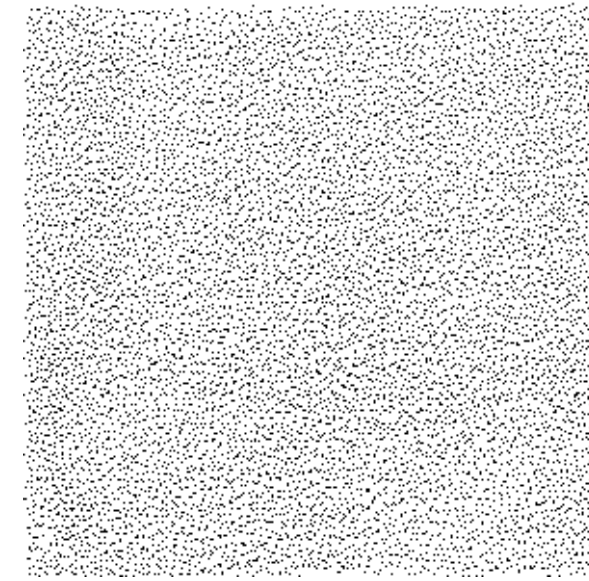
- 1 STUCCO, FINE FINISH, PAINTED BENJAMIN MOORE - 'OC-19 SEA PEARL'
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- 13 HARDIE TRIM BOARD, BLACK

1 : NORTH ELEVATION : 1/8" = 1'-0"



2 : WEST ELEVATION : 1/8" = 1'-0"

EXTERIOR MATERIAL SAMPLE BOARD



F1 - STUCCO

MANUFACTURER: N/A
 PROFILE: FINE FINISH
 COLOR: BENJAMIN MOORE 'OC-19 SEA PEARL'



F5 - METAL CANOPY

MANUFACTURER: N/A
 PROFILE: PAINTED
 COLOR: BLACK



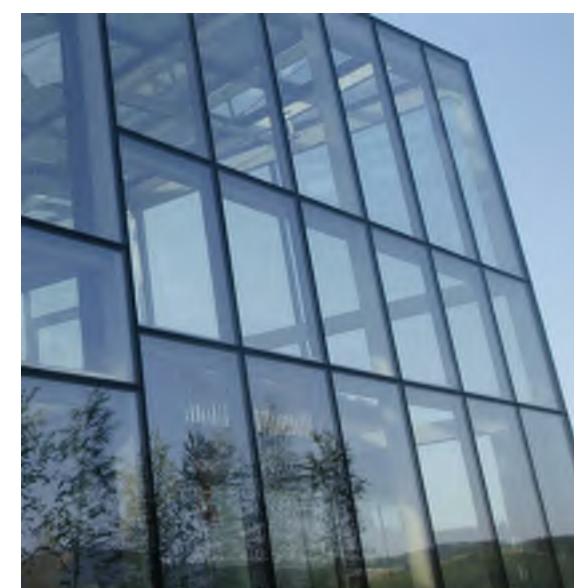
F9 - SOFFIT

MANUFACTURER: N/A
 PROFILE: VENTED SOFFIT
 COLOR: 'BLACK'



F2 - ALUMINUM WOOD GRAIN HORIZONTAL SIDING

MANUFACTURER: TBD.
 PROFILE: 6" HORIZONTAL CLADDING
 COLOR: 'CYPRESS'



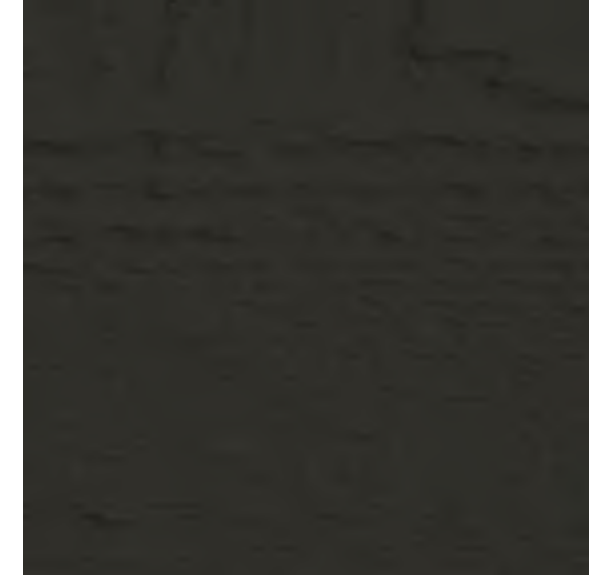
F6 - CURTAIN WALL GLAZING

MANUFACTURER: TBD
 PROFILE: ANNOIDIZED ALUMINIUM
 COLOR: BLACK FRAMING
 CLEAR GLAZING



F10 - METAL FLASHING

MANUFACTURER: TBD
 PROFILE: TBD
 COLOR: TO MATCH ADJACENT WALL COLOR



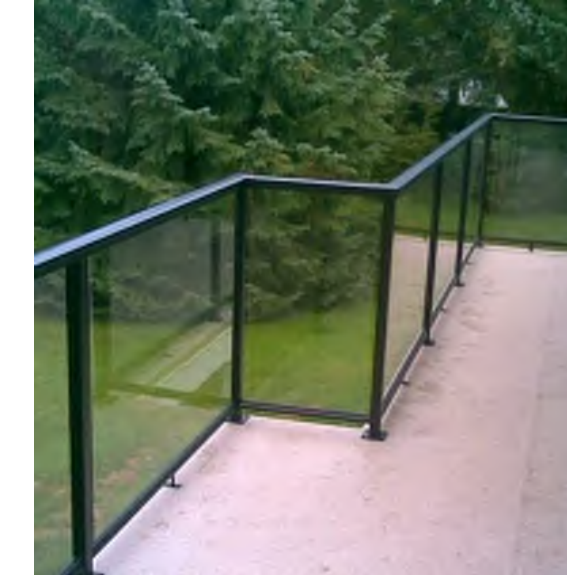
F3 - STUCCO

MANUFACTURER: N/A
 PROFILE: FINE FINISH
 COLOR: BENJAMIN MOORE 'AF-560 FLINT'



F7 - WINDOWS

MANUFACTURER: TBD
 PROFILE: VINYL WINDOWS
 COLOR: BLACK FRAMING
 CLEAR GLAZING



F11 - DECK + PATIO GUARDRAILS

MANUFACTURER: TBD
 PROFILE: PRE-FINISHED ALUMINIUM
 COLOR: BLACK FRAMING
 CLEAR GLAZING



F4 - STONE VENEER

MANUFACTURER: ELDORADO STONE
 PROFILE: STACKED STONE
 COLOR: 'DARK RUNDLE'



F8 - SPANDREL GLASS

MANUFACTURER: OPACI COAT
 PROFILE: TBD
 COLOR: HARMONY GRAY



F12 - CEDAR SCREEN FENCING

MANUFACTURER: TBD
 PROFILE: PRE-FINISHED ALUMINIUM
 COLOR: BLACK FRAMING
 CLEAR GLAZING

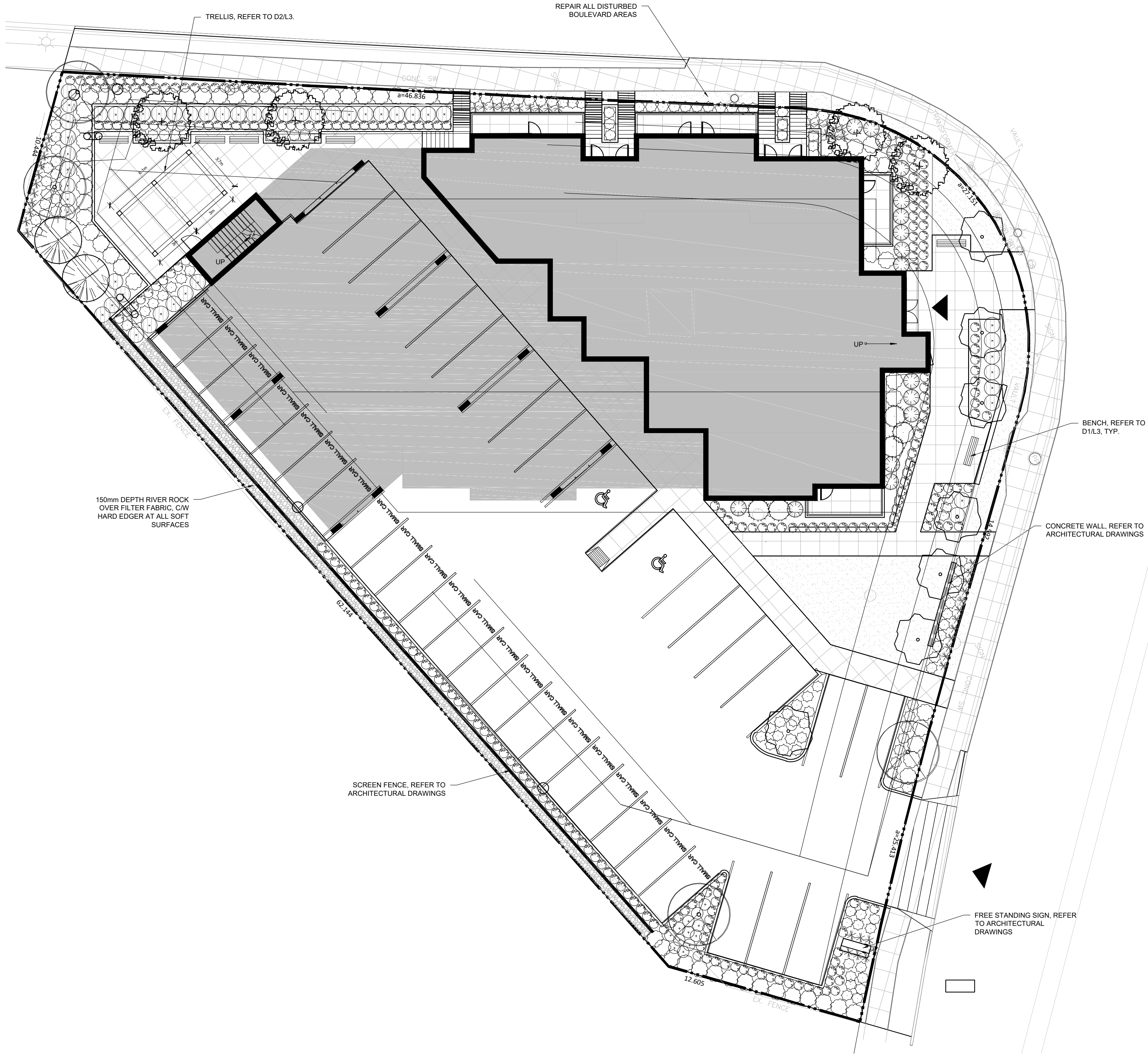
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	4	Ginkgo biloba	Maidenhair Tree	6cm Cal.	As Shown	W.B.
	4	Carpinus betulus 'Frans Fontaine'	Frans Fontaine Hornbeam	6cm Cal.	As Shown	W.B.
	7	Nyssa sylvatica	Black Gum	6cm Cal.	As Shown	W.B.
CONIFEROUS TREES						
	2	Pinus flexilis 'Vanderwolfe's'	Vanderwolfe's Limber Pine	2.5m Ht.	As Shown	W.B.
SHRUBS						
	48	Juniperus horizontalis	Creeping Juniper	20cm ht.	0.75m	#3 Pot
	12	Euonymus fortunei	Winter creeper	20cm ht.	0.75m	#3 Pot
	5	Juniperus scopulorum 'Medora'	Medora Juniper	1.8m ht.	As Shown	B & B
	66	Berberis thunbergii 'Century'	Royal Burgundy Barberry	40cm ht.	1.0m	#4 Pot
	91	Caragana frutex 'Globosa'	Globe Caragana	50cm ht.	1.0m	#4 Pot
	18	Pinus mugo 'slowmound'	Slowmound Mugo Pine	50cm ht.	1.0m	#4 Pot
	57	Ilex crenata 'Sky Pencil'	Sky Pencil Holly	60cm ht.	0.75m	#4 Pot
PERENNIALS, GROUND COVERS, AND GRASSES						
	257	Pennisetum advena 'Rubrum'	Purple Fountain Grass	1 Gal	0.6m	Potted
	147	Perovskia atriplicifolia 'Little Spire'	Dwarf Russian Sage	1 Gal	0.6m	Potted

- PLANTING NOTES**
- PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
 - PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
 - ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
 - TREE PROTECTION: PER THE MUNICIPAL DETAIL IF REQUIRED.
 - ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARD.
 - SOIL ANALYSIS FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ALL PLANTING BEDS TO BE FINISHED WITH 75mm OF BARK MULCH. REFER TO PLANTING DETAILS FOR INSTALLATION AROUND PLANT MATERIAL.
 - PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
 - REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORISTS (I.S.A.) SPECIFICATIONS WITH APPROPRIATE TIMING FOR EACH SPECIES.
 - PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON. AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
 - Regular schedule of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered within 48 hours of written request by the Owner or Owner's representative. Failure to do so after the request shall result in the work being undertaken by others. The cost of this work shall be deducted from the total Contract Price or holdback and otherwise recovered from the Contractor.
 - Maintenance and additional installation of mulch
 - Weed removal
 - Disease control

- GENERAL NOTES**
- EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
 - CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
 - CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS. OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S WORK AT THE CONTRACTOR'S OWN EXPENSE.
 - UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
 - THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE. DURING THE PERIOD OF WORKS, PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEPED AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

- IRRIGATION NOTES:**
- IRRIGATION TO BE PROVIDED FOR ALL 'SOFT LANDSCAPE AREAS' SHOWN ON THE DRAWING, USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
 - IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FOR THE STUB OUTS PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT LEAST ONE WEEK PRIOR TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE.
 - THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
 - ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.
 - USE POP-UP SPRINKLER HEADS.
 - DO NOT SPRAY WATER ONTO TREE TRUNKS.

- SODDING NOTES:**
- SODDED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOD, WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD, AND OF THE FOLLOWING MIX OR APPROVED EQUAL:
 - 40% BLEND OF (3) VARIETIES OF KENTUCKY BLUEGRASS
 - 40% CREEPING RED FESCUE
 - 20% PERENNIAL RYEGRASS
 USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE
 - AREAS TO BE SODDED SHALL HAVE A MINIMUM 150MM TOPSOIL BASE.
 - LOOSEN SOIL SURFACE PRIOR TO SODDING. ELIMINATE BUMPS AND HOLLOWES. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.
 - PRIOR TO SODDING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
 - DELIVER SOD TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 36 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOD FROM DRYING, AND WATER SOD AS NECESSARY TO ENSURE ITS VITALITY AND PREVENT THE LOSS OF SOIL IN HANDLING. DRY SOD WILL BE REJECTED.
 - LAY SOD DURING GROWING SEASON. LAY SOD IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
 - WATER SOD IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150MM OF TOPSOIL. MAINTAIN SODDED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.



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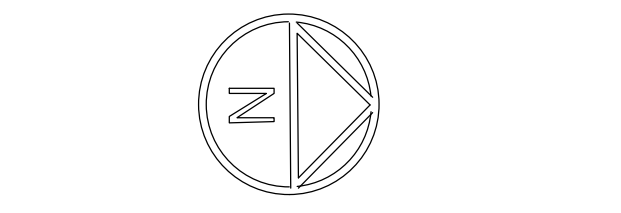
KD Planning
DESIGN LTD

LEGEND

- TURF GRASS
- CONCRETE SIDEWALK PAVING
- EXISTING CONCRETE

4	15/04/21	ISSUED FOR REVIEW
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1	18/11/20	ISSUED FOR REVIEW

NO. DATE: (d/m/y) DESCRIPTION:
ISSUES & REVISIONS:



PROJECT NAME:
UNION ROAD MIXED USE

PROJECT ADDRESS:
**1975 UNION ROAD,
KELOWNA, BC**

DRAWING TITLE:
**GROUND FLOOR LANDSCAPE
PLAN, AND NOTES**

SCALE: 1:150
DRAWN: RM
CHECKED: JT
PROJECT NO: 190756-L

DRAWING NO:
L1

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PLANT LIST						
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	4	Ginkgo biloba	Maidenhair Tree	6cm Cal.	As Shown	W.B.
	4	Carpinus betulus 'Frans Fontaine'	Frans Fontaine Hornbeam	6cm Cal.	As Shown	W.B.
	7	Nyssa sylvatica	Black Gum	6cm Cal.	As Shown	W.B.
CONIFEROUS TREES						
	2	Pinus flexilis 'Vanderwolfe's'	Vanderwolfe's Limber Pine	2.5m Ht.	As Shown	W.B.
SHRUBS						
	48	Juniperus horizontalis	Creeping Juniper	20cm ht.	0.75m	#3 Pot
	12	Euonymus fortunei	Winter creeper	20cm ht.	0.75m	#3 Pot
	5	Juniperus scopulorum 'Medora'	Medora Juniper	1.8m ht.	As Shown	B & B
	66	Berberis thunbergii 'Gentry'	Royal Burgundy Barberry	40cm ht.	1.0m	#4 Pot
	91	Caragana frutex 'Globosa'	Globe Caragana	50cm ht.	1.0m	#4 Pot
	18	Pinus mugo 'slowmound'	Slowmound Mugo Pine	50cm ht.	1.0m	#4 Pot
	57	Ilex crenata 'Sky Pencil'	Sky Pencil Holly	60cm ht.	0.75m	#4 Pot
PERENNIALS, GROUND COVERS, AND GRASSES						
	257	Pennisetum advena 'Rubrum'	Purple Fountain Grass	1 Gal	0.6m	Potted
	147	Perovskia atriplicifolia 'Little Spire'	Dwarf Russian Sage	1 Gal	0.6m	Potted

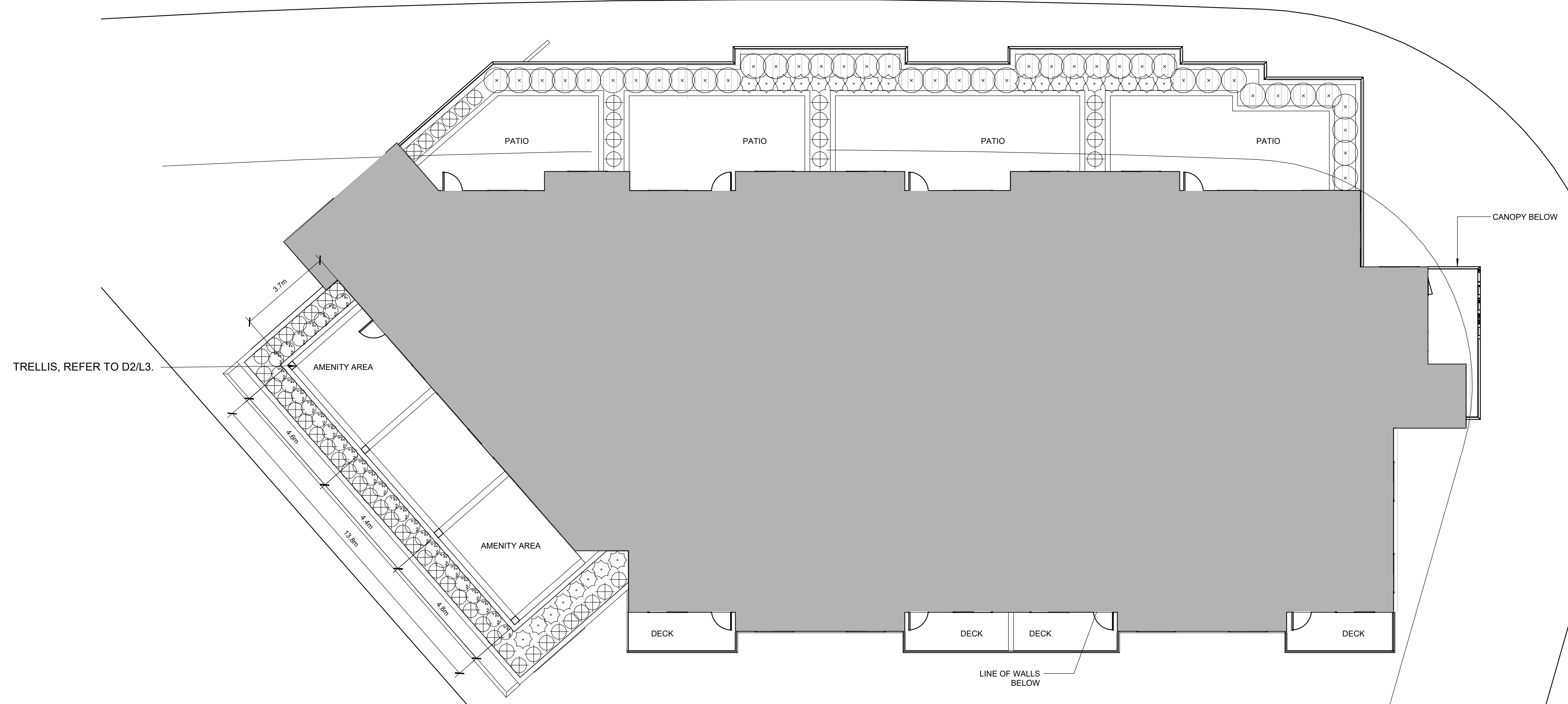


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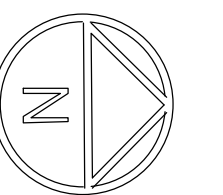


LEGEND

- TURF GRASS
- CONCRETE SIDEWALK PAVING
- EXISTING CONCRETE



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PROJECT NAME:
UNION ROAD MIXED USE

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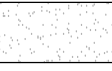
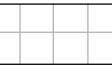
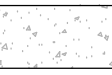
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LANDSCAPE PLAN**

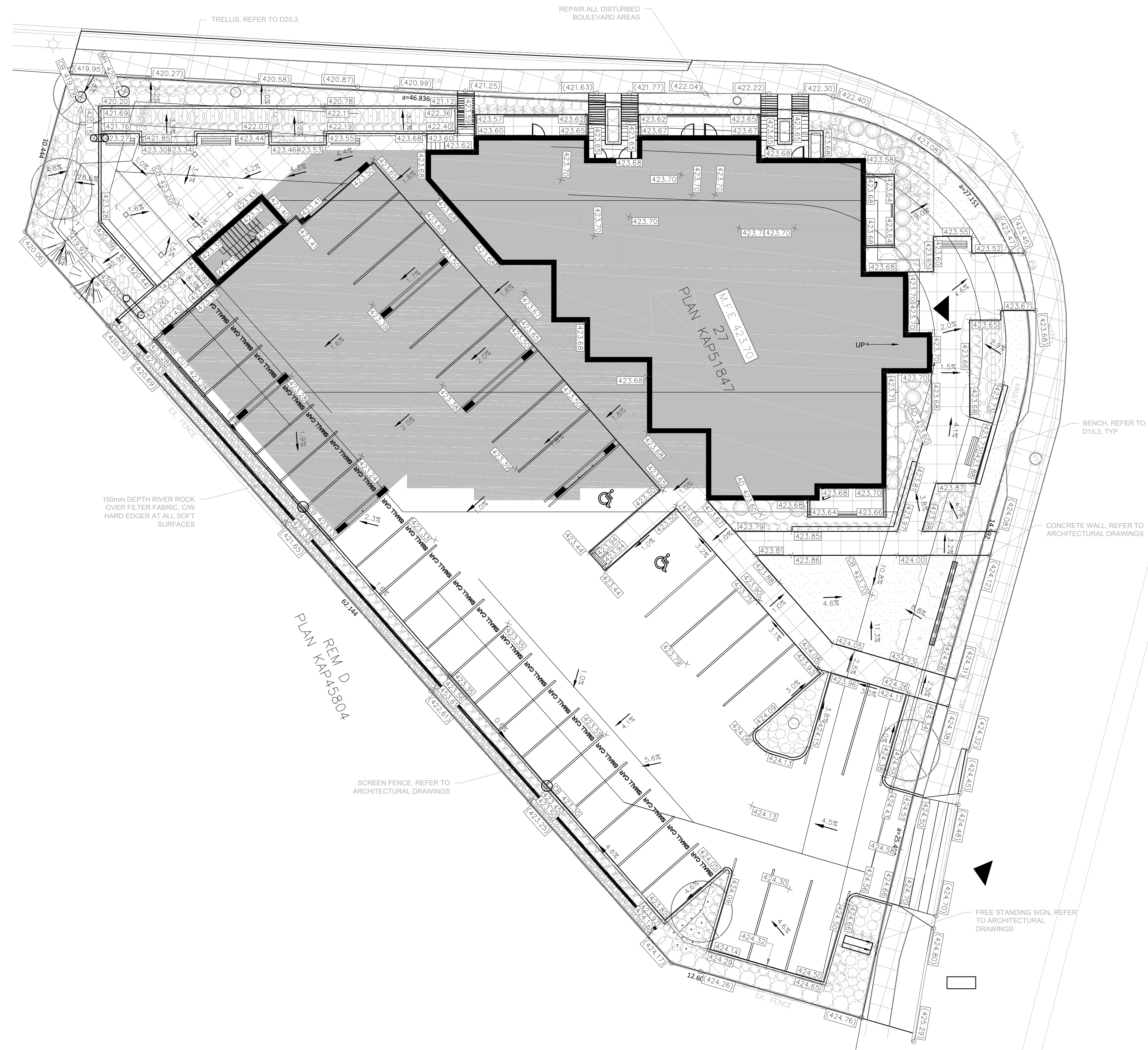
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CHECKED: JT
PROJECT NO: 190756-L

DRAWING NO:
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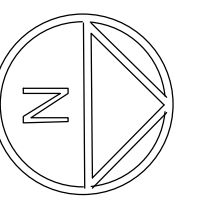
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LEGEND

-  TURF GRASS
-  CONCRETE SIDEWALK PAVING
-  EXISTING CONCRETE



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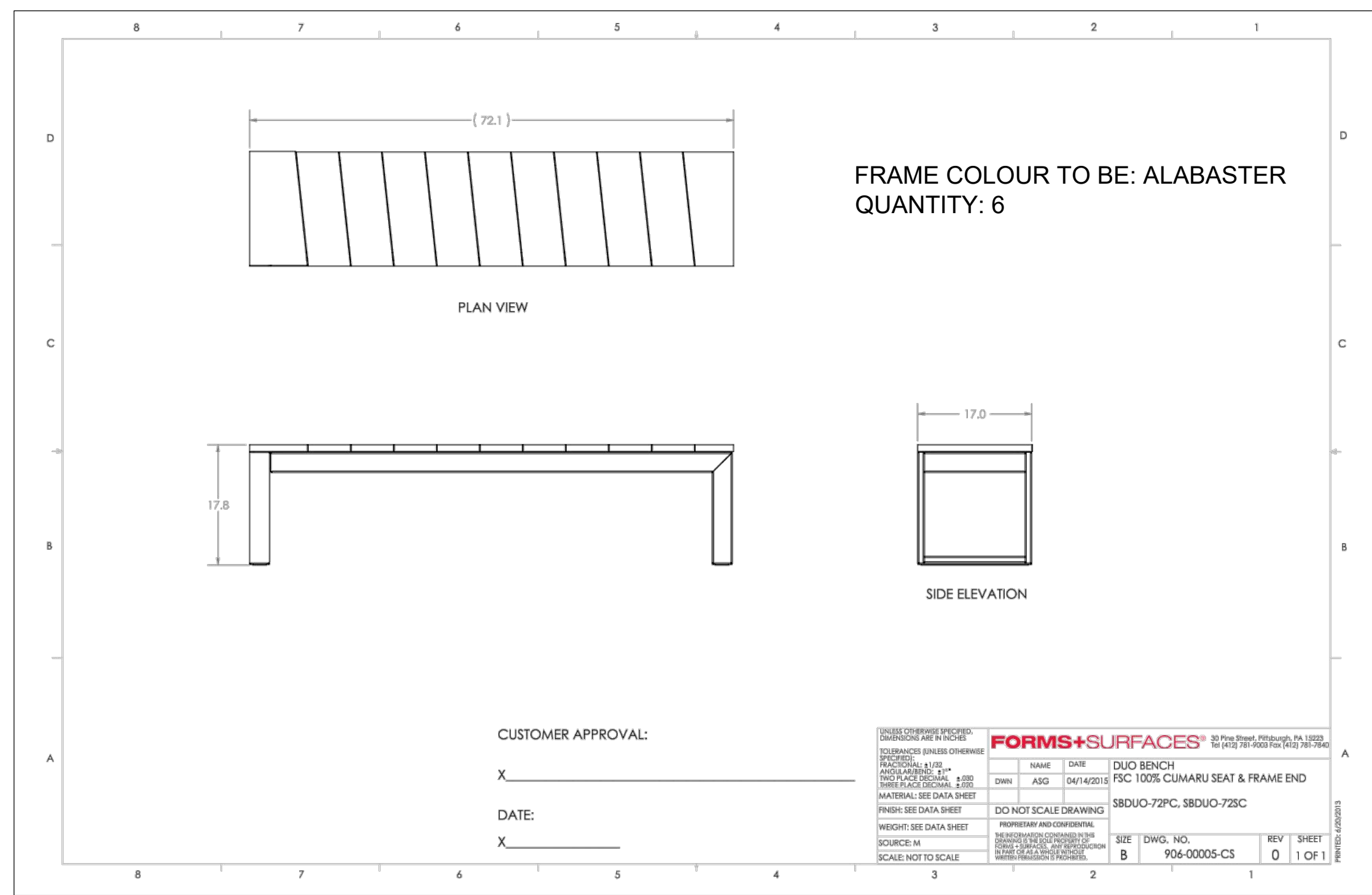
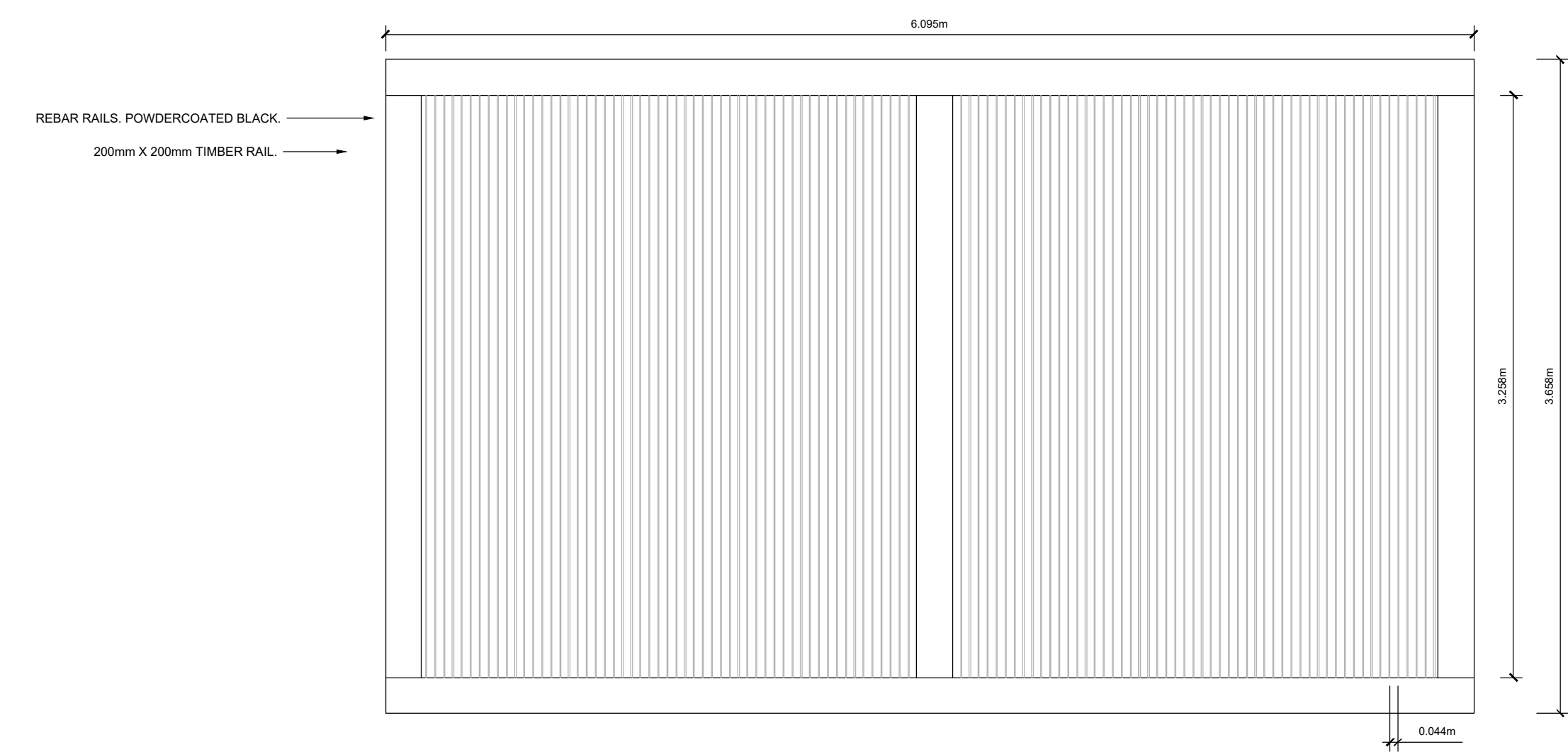
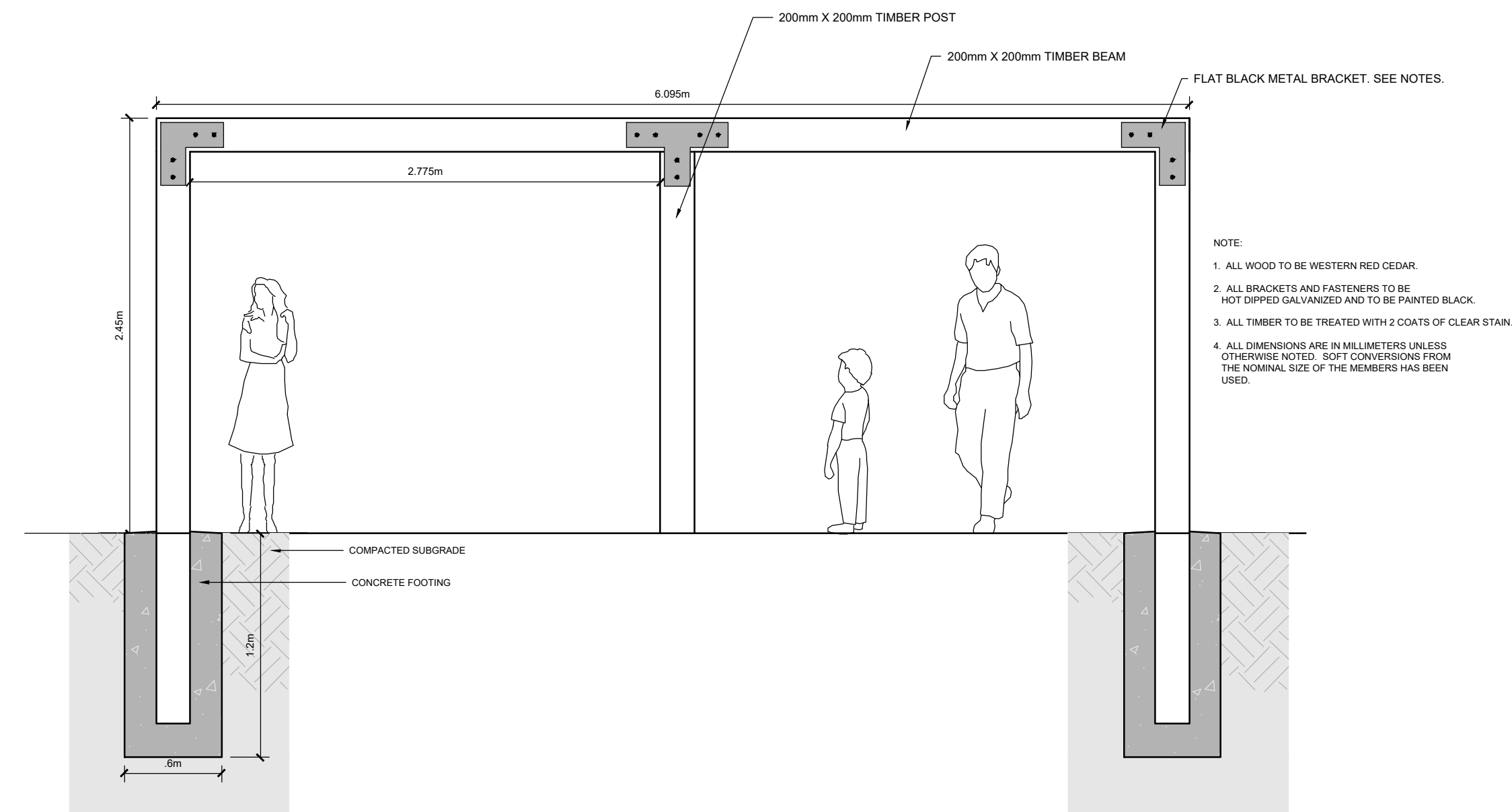
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PROJECT ADDRESS:
**1975 UNION ROAD,
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DRAWING TITLE:
GRADING PLAN

SCALE: 1:150
DRAWN: RM
CHECKED: JT
PROJECT NO: 190756-L

DRAWING NO:
L2

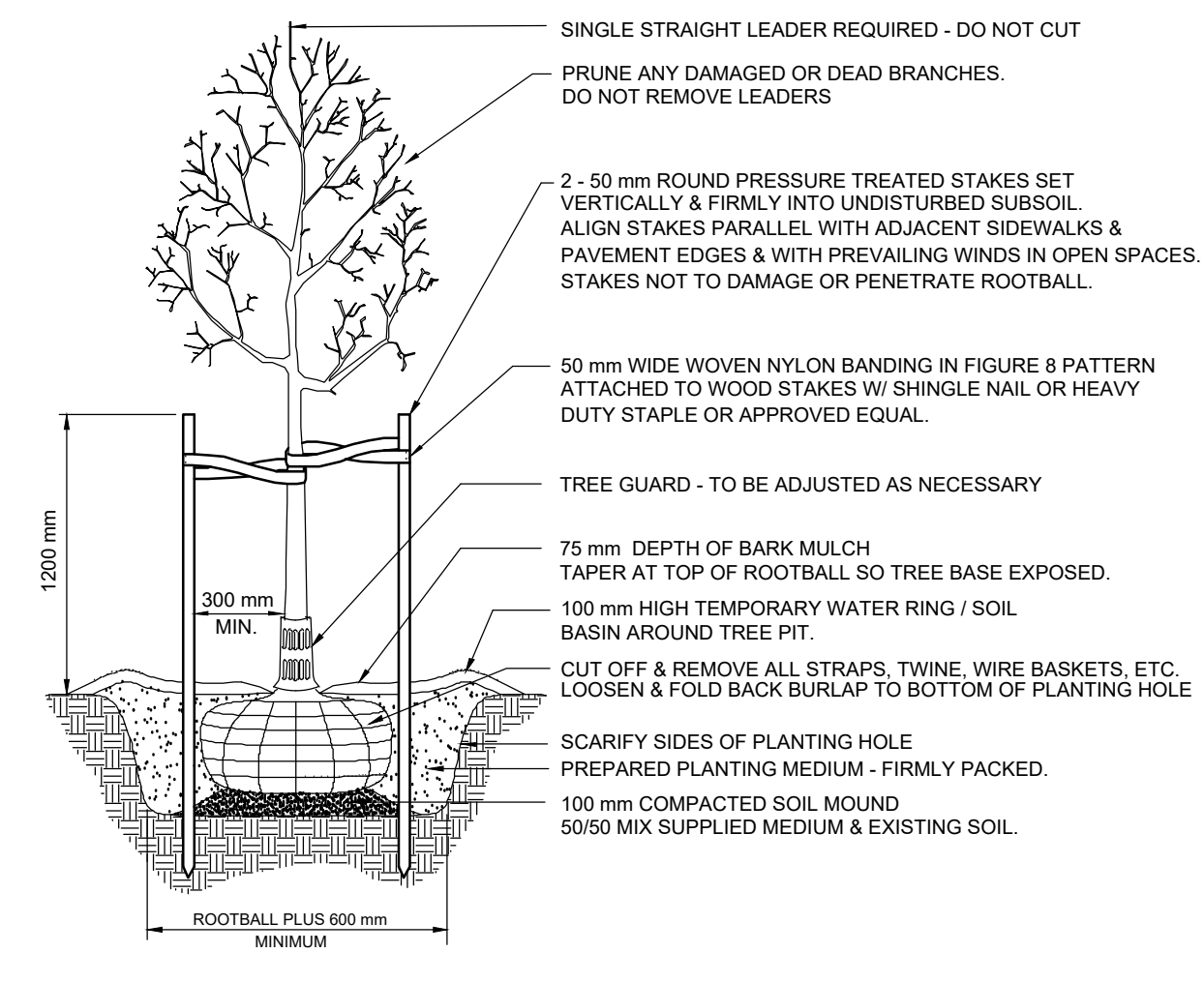


D1 BENCH

N.T.S.

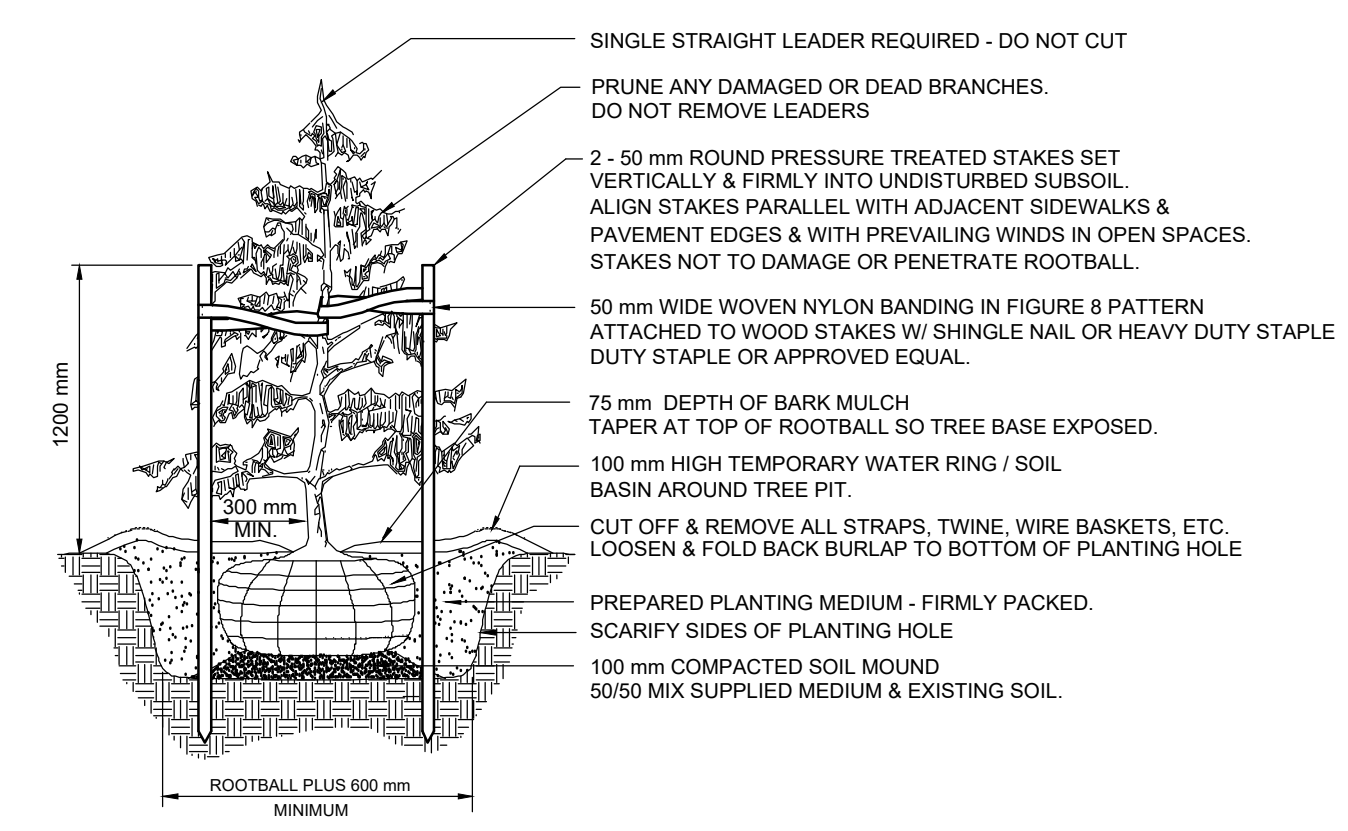
D2 TRELLIS

N.T.S.



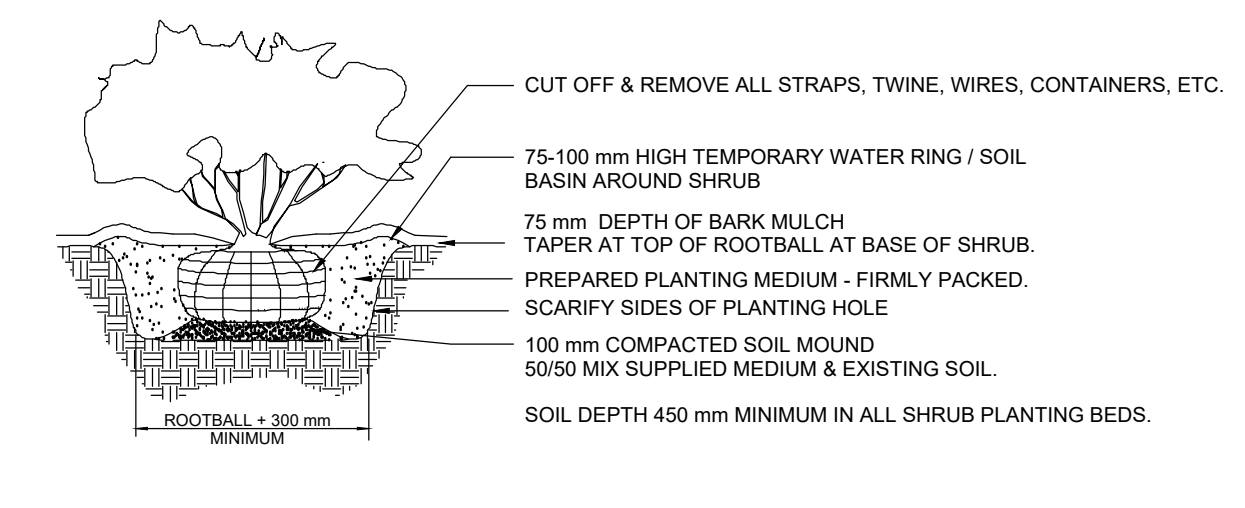
DECIDUOUS TREE

N.T.S.



CONIFEROUS TREE

N.T.S.



SHRUB AND PERENNIAL PLANTING DETAIL

N.T.S.

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PROJECT NAME:
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PROJECT ADDRESS:
**1975 UNION ROAD,
KELOWNA, BC**

DRAWING TITLE:
DETAIL & NOTES

SCALE: AS NOTED
DRAWN: RM
CHECKED: JT
PROJECT NO: 190756-L

DRAWING NO:
L3

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